



TOWN OF CORTLANDT PLANNING BOARD

Steven Kessler, *Chairperson*
Thomas A. Bianchi, *Vice-Chairperson*

Nora Hildinger
Kevin Kobasa
Peter McKinley
Jeff Rothfeder
Karen Timko, *Alternate*
Kellan Cantrell, *Alternate*

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Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Cristin Jacoby
Robert Mayes
Joyce C. White

TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:

<https://us02web.zoom.us/j/89767557891?pwd=aPiNe7RNV1lxv1XThGGcqbll2sdOp5.1>

WORK SESSION.....FEBRUARY 3, 2026 6:00 PM

1. Discuss February 3, 2026 Regular Planning Board Meeting Agenda.

**MEETING AGENDA..... PLANNING BOARD
TOWN OF CORTLANDT
6:30 TUESDAY EVENING*
FEBRUARY 3, 2026**

1. **PLEDGE TO THE FLAG**
2. **ROLL CALL**
3. **CHANGES TO THE AGENDA BY MAJORITY VOTE**
4. **ADOPTION OF THE MINUTES OF THE MEETING OF JANUARY 6, 2026**
5. **CORRESPONDENCE**

- a. Receive and file the 2025 Annual Report.

6. **RESOLUTION**

- PB 2025-17** a. Application of 2051 Cortlandt Holding, LLC for Amended Site Plan approval for the addition of 5 parking spaces at the existing gas station located at 2051 E. Main St. Drawing latest revised December 22, 2025. (see prior PB 2019-1)

7. **PUBLIC HEARING (ADJOURNED FROM PREVIOUS MEETING)**

- ~~**PB 2025-7** a. Public Hearing: Application of the Yeshiva Ohr Hameir for Site Plan approval, an amended Special Permit for a University, College or Seminary and a Wetland Permit for a proposed 51,730 sq. ft. dormitory building, the repurposing of other buildings on site, and site improvements including stormwater, landscaping and building façade renovations located at the existing Yeshiva Ohr Hameir campus at 141 Furnace Woods Rd. Drawings latest revised December 17, 2025. (see prior PB 7-09)~~
- The Yeshiva Ohr Hameir public hearing has been adjourned to the March 3rd Planning Board meeting.**

- PB 2025-5** **b.** Public Hearing: Application of VS Construction Corp. for Site Plan approval and for Tree, Wetland and Steep Slope permits for a proposed 96,850 sq. ft. Assisted Living Facility located in the Medical Oriented District (MOD) at 2003 Crompond Road. Drawings latest revised November 20, 2025.

8. OLD BUSINESS

- PB 2025-18** **a.** Application of 70 Roa Hook Realty LLC for Site Development Plan approval to redevelop the site of the partially constructed Crystal Clean Carwash facility to a proposed vehicle showroom and service facility for property located at 70 Roa Hook Rd. Drawings dated January 22, 2026 (see prior PB 13-16)
- PB 2025-11** **b.** Application of Dakota Recycling Service, LLC and Dakota Concrete Services, LLC for the property of Briga Enterprises Inc. & Bilotta Realty of Westchester Inc. for Amended Site Plan approval for the existing Dakota Recycling Services and Dakota Concrete Services for property located at 2099 Albany Post Rd. Drawings dated January 20, 2026 (see Prior PB's 2024-3, 8-03, 15-99 & 29-95).

9. NEW BUSINESS

- PB 2026-2** **a.** Application of Oregon Homes Inc. for Preliminary Plat approval and for Steep Slope and Tree Removal Permits for a proposed 7-lot major subdivision, for 6 residential lots and one mixed use parcel, for property located at 1127 Oregon Road and 2 Red Mill Road. Drawings dated November 5, 2025.
- PB 2026-3** **b.** Application of VS Construction for Site Development Plan approval and for Steep Slope and Tree Removal Permits for a proposed 9,600 sq. ft. commercial building located on future parcel 3 within the Medical Oriented District for property located at 2003 Crompond Rd. Drawings dated January 21, 2026.

10. ADJOURNMENT

Next Regular Meeting; TUESDAY, MARCH 3, 2026 at 6:30* PM
Agenda information is also available at www.townofcortlandt.com

** Regular meeting will begin at the conclusion of the work session*



TOWN OF CORTLANDT
DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

Chris Kehoe, AICP – Director

Planning Staff:
Heather LaVarnway, CNU-A, AICP
Michelle Robbins, AICP
Rosemary B. Lasher

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1080

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Cristin Jacoby
Robert Mayes
Joyce C. White

MEMO

TO: Dr. Richard H. Becker, Town Supervisor
Members of the Town Board

Steven Kessler, Chairperson
Members of the Planning Board

FROM: Chris Kehoe, AICP *CK*
Director of Planning & Community Development

RE: **Annual Planning Board Report - 2025**

DATE: January 21, 2026

Please find attached a copy of the 2025 Annual Planning Board Report

CRK/crk

Enc.

cc: Thomas Wood, Esq., Town Attorney
Michael Cunningham, Esq., Deputy Town Attorney
Michael Preziosi, P.E., Director DOTS
Art Clements, AAC
Wendy Talio, CAC
Tino Martin, PRC
Laroue Shatzkin, Town Clerk

2025 ANNUAL REPORT - PLANNING BOARD

2025 MAJOR SUBDIVISIONS GRANTED PRELIMINARY APPROVAL

None

2025 MAJOR SUBDIVISIONS GRANTED FINAL APPROVAL

None

2025 MINOR SUBDIVISIONS GRANTED PRELIMINARY APPROVAL

1) PB 2024-2, George McCombe, 107 Mountainview Rd, **PB Res. 12-25**

2025 MINOR SUBDIVISIONS GRANTED FINAL APPROVAL

1) PB 2024-2, George McCombe, 107 Mountainview Rd., **PB Res. 12-25**

2025 PRELIMINARY SUBDIVISION APPROVAL TIME EXTENSIONS

1) PB 5-16, Pomona Development – 3 Lot Subdivision **PB Res. 5-25, 7-25 & 17-25**

2025 FINAL SUBDIVISION APPROVAL TIME EXTENSIONS

1) PB 2023-5, Evergreen Subdivision – 2 Lot Subdivision – **PB Res. 2-25, 10-25 & 15-25, 19-25**

2025 AMENDED SUBDIVISION APPROVALS

None

2025 PERFORMANCE SECURITY REDUCTIONS

None

2025 SPECIAL PERMITS WITH SITE DEVELOPMENT PLAN APPROVAL

1) PB 2025-10, PSW Realty, Electrical Contractor, 2015 Albany Post Rd., **PB Res. 21-25**

2025 SPECIAL PERMIT RENEWALS

1) PB 2024-7, Yeshiva Ohr Hameir, 141 Furnace Woods Rd., **PB Res 1-25**

1) PB 2025-13, MCAS Roofing, 1006 Albany Post Rd., **PB Res. 22-25**

2025 SPECIAL PERMIT RECOMMENDATION TO TOWN BOARD

None

2025 SITE DEVELOPMENT PLAN APPROVALS

1) PB 2024-1, 3 Locust Ave. Self-Storage, **PB Res. 4-25**

2025 SITE DEVELOPMENT PLAN AMENDMENTS

1) PB 2024-3, Briga Enterprises Inc. & Bilotta Realty, 2099 Albany Post Rd., **PB Res. 8-25**

2) PB 2025-4, Floor & Décor, 2094 E. Main St., **PB Res. 9-25**

3) PB 2025-6, Wal-Mart Storage Containers, 3133 E. Main St., **PB Res. 14-25**

4) PB 2025-9, Yuka’s Patio, 2011 Albany Post Rd., **PB Res. 25-25**

2025 SITE DEVELOPMENT PLAN TIME EXTENSIONS

1) PB 2022-4 Gurdjieff Foundation, Inc., **PB Res. 3-25**

2) PB 6-15 Hudson Ridge Wellness Center, Inc. **PB Res. 11-25**

3) PB 2020-10, Cortlandt CSG, LLC, Solar Energy System, Lexington Avenues, **PB Res. 13-25**

4) PB 2022-10 Bilal Ahmad, Hotel, **PB Res. 18-25**

5) PB 2021-1, NRP Properties, 119 Oregon Rd. – **PB Res. 20-25**

6) PB 2023-2 – JJM Summit Realty, Dental Office, 1 Jerome Dr., **PB Res. 24-25**

2025 SITE PLAN TIME EXTENSIONS TO OBTAIN BUILDING PERMIT

1) PB 2020-6, Palisades Fuel, 2060 E. Main St., **PB Res 16-25 & 23-25**

2025 CELL TOWER SPECIAL PERMIT & SITE PLAN APPROVAL

None

2025 CORRESPONDENCE ITEMS

1) PB 16-99 Hollowbrook Golf Club 2024 Annual Water Monitoring Report, **Receive and File**

2) PB 2019-1, Gasland Traffic Monitoring Protocol, 2051 E. Main St., **Receive and File**

2025 ACCESSORY APARTMENTS

1) Gomez, 60 Waterbury Parkway, **PB Res. 6-25**

2025 WETLAND PERMITS

None

2025 STEEP SLOPE PERMITS

None

2025 TREE REMOVAL PERMITS

None

2025 SEQR DEIS/FEIS REVIEW

None

ANNUAL REPORT- 2025 PLANNING BOARD

PLANNING BOARD PRELIMINARY PLAT APPROVALS

	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>	<u>2019</u>	<u>2020</u>	<u>2021</u>	<u>2022</u>	<u>2023</u>	<u>2024</u>	<u>2025</u>
<u>Minor Subdivisions</u>																					
Number of Plats	6	6	0	1	0	0	0	0	0	0	1	0	1	0	0	0	0	1	0	0	1
Number of Lots	6	6	0	2	0	0	0	0	0	0	2	0	2*	0	0	0	0	2	0	0	2
<u>Major Subdivisions</u>																					
Number of Plats	5	3	4	5	0	2	2	0	0	0	1	0	0	0	0	2	0	0	1		0
Number of Lots	11	8	26	15	0	20	5	0	0	0	27	0	0	0	0	5	0	0	3		0
Condominium Units (NYS Section 278)	147																				
Preliminary Subdivision Time Extensions	11	15	17	12	17	11	7	3	2	2	2	2	2	2	0	0	0	0	1	2	3
Time Extensions Denied																					
Amendments			2	2		1															
Denials						1															

PLANNING BOARD FINAL PLAT APPROVALS

	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>	<u>2019</u>	<u>2020</u>	<u>2021</u>	<u>2022</u>	<u>2023</u>	<u>2024</u>	<u>2025</u>
<u>Minor Subdivision</u>																					
Number of Plats	4	6	2	0	0	2	0	0	0	0	0	1	1	0	0	0	0	1	0	0	1
Number of Lots	8	6	4	0	0	4	0	0	0	0	0	2	2*	0	0	0	0	2	0	0	2
<u>Major Subdivision</u>																					
Number of Plats	0	6	5	4	2	2	2	5	2	1	0	1	0	0	1	1	0	0	0	0	0
Number of Lots	0	20	11	5	8	6	4	13	151	4	0	14	0	0	27	3	0	0	0	0	0
Condominium Units/ NYS Section 278			147	92			16		147				56**								
Reapproval						3															
Final Subdivision	2	2	7	15	14	13	9	16	20	17	8	8	7	8	7	5	8	4	0	3	4
Time Extensions																					
Time Extensions Denied																					1

* 2 lot commercial subdivision

** Pondview Commons

ANNUAL REPORT- 2025 PLANNING BOARD

	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>	<u>2019</u>	<u>2020</u>	<u>2021</u>	<u>2022</u>	<u>2023</u>	<u>2024</u>	<u>2025</u>
<u>Site Development Plans (SDP)</u>	4	7	6	9	4	4	1	1	4	4	1	2	6	5	1	4	2	1	1		1
<u>SDP Amendments</u>	3	2	2	3	1	1	1	2	3	1	2	2	9	15	6	6	0	1	1	2	4
<u>SDP with Special Permit</u>	1	4	1	1	2	3	1	1		1	1	2	2	1	2	3	1	2	3		1
<u>SDP TOTALS</u>	8	11	9	13	7	8	3	4	7	6	4	6	17	21	9	13	3	4	5		
<u>SDP Time Extensions</u>	2	3	4	5	7	5	2	1	1	0	0	1	1	1	1	0	5	4	6	6	6
<u>SDP Time Extensions Denied</u>																					
<u>SDP Denials</u>	1																				
<u>Cell Towers (Co-Locate, Re-Cert, New)</u>														7	2		2	2	1		
<u>Solar Energy Systems SDP & Special Permit</u>																			1		
	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>	<u>2019</u>	<u>2020</u>	<u>2021</u>	<u>2022</u>	<u>2023</u>	<u>2024</u>	<u>2025</u>
<u>Zoning Code Amendment Recommendations</u>	2	3	4	1	3	2	2			1	0	1							1***	4	
<u>Wetland Permits</u>	4	4	4	5	2	3	2	1	1	2	1	2	1	1	0	5	0			2	
<u>Tree Removal Permits</u>						5	1			2	1	3	2	4	1	6	1	2	2		
<u>Steep Slope Permits</u>	4	2	4	5	1	2	1	1			1	2	2		0	2	1	2	2		
<u>Special Permits Renewals</u>	1		1		0	3		1	3		1	3						2	3		2
<u>Special Permit Recommendations</u>							1**				0	0						1			
<u>Lot Line Adjustments</u>		3	2	2	0	1	1			2	3	2		2		2					
<u>Lot Line Adj. Time Extensions</u>			2		0	0				1	0	1									
<u>Performance Security Reductions</u>	2				0	1		1		2	2	1	1	1		1	2				
<u>Accessory Apartments</u>													1	2	1	2	1		1		1
<u>Cluster Recommendations</u>					0	0					0	0									
<u>DEIS Scopes</u>	2		3		0	1		1			0	0									

*Includes Jacobs Hill Village PVD 103 Apartments and 58 Condominiums

**RRUSP Pondview Recommendation

*** RRUSP Amendment Recommendation to Town Board

DRAFT

**TOWN OF CORTLANDT
PLANNING BOARD
PB 2023-3**

RESOLUTION NO. 5-26

WHEREAS, an application for Planning Board approval of an Amended Site Development Plan pursuant to Chapter 307 of the Town of Cortlandt Code was submitted by 2051 Cortlandt Holding, LLC for 5 additional parking spaces at an existing gas station as shown on a drawing entitled “Amended Site Development Plan” prepared by Cronin Engineering, P.E., P.C., latest revision dated December 22, 2025, and

WHEREAS, the subject property is located at 2051 E. Main St., is approximately 42,100 sq. ft., in size, is zoned HC, highway commercial and is designated on the Town of Cortlandt Tax Maps as Section 23.20, Block 3, Lot 13, and

WHEREAS, as required by Article 8 of the New York State Environmental Conservation Law for the proposed Unlisted Action the applicant completed and submitted Part 1 of the Short Environmental Assessment Form dated November 11, 2025, and

WHEREAS, the Planning Board approved the Site Development Plan for the construction of the gas station, convenience store and other site improvements by Resolution 6-20 and the site has been constructed and is operating as a gas station with a convenience store and deli, and

WHEREAS, since opening parking has been an issue at the site with some employees parking on adjacent roadways, and

WHEREAS, the subject site plan amendment proposes 5 new parking spaces and the re-stripping of 2 existing parallel spaces to better define the parallel spaces, and

WHEREAS, none of the improvements are proposed in the wetland or wetland buffer but do require the removal of an existing tree and grass area that will be required to be replanted, and

WHEREAS, the subject application was referred to the Town Engineering Division for their

review and comment.

NOW THEREFORE BE IT RESOLVED, that pursuant to Section 617.7 of the SEQR Regulations, as stated in this Resolution and throughout the course of this application as contained in the minutes of the public hearing and other regular meetings of the Planning Board, the Planning Board considered the impacts which may be reasonably expected to result from the proposed action by comparing them against the applicable criteria in said section and finds that:

1. The proposed action will not result in a substantial adverse change to existing air quality, ground or surface water quality and quantity, traffic or noise levels; a substantial increase in solid waste production; nor generate a substantial increase in potential for erosion, flooding, leaching or drainage problems.
2. The proposed action will not result in the removal or destruction of large quantities of vegetation or fauna; will not substantially interfere with the movement of a resident or migratory fish or wildlife species; will not impact a significant habitat area; and will not result in any substantial adverse impacts on a threatened or endangered species of animal or plant, or the habitat of such a species, or other significant adverse effects to natural resources.
3. The proposed action will not result in the impairment of the environmental characteristics of a Critical Environmental Area.
4. The proposed action will not result in the creation of a material conflict with the adopted 2016 Town Sustainable Comprehensive Master Plan and Town Zoning Ordinance.
5. The proposed action will not result in the impairment of a character or quality of important historical, archeological, architectural or aesthetic resources or of existing community or neighborhood character.
6. The proposed action will not significantly impact the use of either the quantity or type of energy.

7. The proposed action will not create a hazard to human health.
8. The proposed action will not result in a substantial change in the use or intensity of use, of land including agricultural, open space or recreational resources, or in its capacity to support existing uses.
9. The proposed action will not encourage or attract a substantially larger number of people to the subject property compared to the number of people who would come to such place absent the action.
10. The proposed action will not create a material demand for other actions which would result in one of the above consequences.
11. The proposed action will neither result in changes in two or more elements of the environment, no one of which has a significant impact on the environment, nor when considered together result in a substantial adverse impact on the environment.
12. The proposed action will neither result in two or more related actions undertaken, funded or approved by an agency, none of which has or would have a significant impact on the environment, nor when considered cumulatively, meet one or more of the criteria in this section, and the Planning Board considered possible long-term, short-term and cumulative impacts and found no significant effects which would result as a consequence of the proposed action, and

FURTHER BE IT RESOLVED that the Planning Board as lead agency in this matter finds that based on Part 1 of the Short Environmental Assessment Form (EAF) prepared by Keith Staudohar dated November 11, 2025 and Part II of the Short EAF prepared by the Planning Department dated February 3, 2026 and based on the subject site development plan and the record of this application and for reasons stated in this resolution including the analysis of the criteria stated in 617.7(c)(i)-(xii), the proposed project will have no significant, adverse environmental impact upon the environment and therefore the Planning Board adopts said Part II

of the Short EAF and a Negative Declaration and that no Draft Environmental Impact Statement is required with regard to this matter, and

FURTHER BE IT RESOLVED that the application of 2051 Cortlandt Holding, LLC for Planning Board approval of an Amended Site Development Plan pursuant to Chapter 307 of the Town of Cortlandt Code for 5 additional parking spaces at the existing gas station as shown on a drawing entitled “Amended Site Development Plan” prepared by Cronin Engineering, P.E., P.C., latest revision dated December 22, 2025 is **APPROVED** subject to the conditions listed below and that the Chairman of the Planning Board be authorized to endorse approval on said Site Development Plan upon compliance by the applicant with such conditions as listed below, and

FURTHER BE IT RESOLVED that approval of said Site Development Plan shall be valid for a period of twelve (12) months from the date of this Resolution to satisfy all conditions of approval and to obtain the signature of the Planning Board Chairman on the Site Development Plan. If there is no substantial change in the condition of the site and/or its environs, Site Development Plan Approval may be extended by the Planning Board for a maximum of two (2) additional years, granted in one-year intervals, **upon timely application by this applicant and a written explanation of the reasons for the delay which require the granting of a time extension, and**

FURTHER BE IT RESOLVED that the approved site plan with the Planning Board Chairman’s signature shall be valid for a period of twelve (12) months from the date of signing. If there is no substantial change in the condition of the site and/or its environs, Site Development Plan Approval may be extended by the Planning Board for one (1) additional period of one (1) year, **upon timely application by this applicant and a written explanation of the reasons for the delay which require the granting of a time extension.**

CONDITIONS AND MODIFICATIONS:

- 1. Add the appropriate signature block to the subject drawing and coordinate with the Planning Office to (a) obtain the required signatures from the Director of Planning, the Director of Environmental Services, the Planning Board Engineer and the Planning Board Chairman on the subject drawing set and (b) submit four paper prints and an electronic .pdf of said drawing to the Planning Office following the Chairman's signature on the site plan.**
- 2. Obtain the signature of the Receiver of Taxes on an appropriate form indicating that taxes on the subject property have been paid.**
- 3. The applicant is advised that the conditions of this approval must be satisfied and the site plan drawing signed by the Planning Board Chairman and any required State, County and Town permits obtained prior to beginning any related work on the subject property.**
- 4. The subject site plan shall be revised to increase the height of the proposed 24" tall dry stacked decorative wall to a minimum of 30" to the satisfaction of the Planning Department and the Department of Technical Services.**
- 5. In addition to relocating the existing 2" oak as noted on the subject site plan, the site plan shall be further modified to show additional landscaping and planting to the satisfaction of the Director of Planning.**

TO BE CONSIDERED FOR ADOPTION: FEBRUARY 3, 2026



Kenneth W. Jenkins
Westchester County Executive

Westchester County Planning Board Referral Review

Pursuant to Section 239 L, M and N of the General Municipal Law and
Section 277.61 of the County Administrative Code

January 13, 2025

Chris Kehoe, AICP, Planning Director
Cortlandt Town Hall
1 Heady Street
Cortlandt Manor, NY 10567-1254

County Planning Board Referral File CTD 25-009 – Evergreen Manor Parcel 1 2003 Crompond Road Site Plan Approval

Dear Mr. Kehoe:

The Westchester County Planning Board has received a site plan (revised November 20, 2025) and related materials for an application to construct a new assisted living facility. The proposed building would be part of the ongoing Evergreen Manor development plan, located on the site of the former Evergreen Manor Hotel at 2003 Crompond Road (SBL 33.12-2-8). The 28.36-acre property recently underwent a zoning change to the newly-created MOD – Medical Oriented District as well as a general environmental impact analysis for the Evergreen Manor plan, for which we received a referral and commented in a letter dated December 31, 2019 (CTD 19-005).

The proposed building would be located on a new 6.028-acre parcel (Parcel 1) created within the northeastern corner of the Evergreen Manor property. The site fronts on Crompond Road, with Nancy Lane and Cypress Lane forming dead-ends along the eastern side of the property. The site is located near the New York Presbyterian hospital, which encouraged the Town to establish the MOD zone in order to leverage development capabilities around the hospital. The site is mostly open wooded and yard areas, along with the former hotel building and associated driveway which are to be demolished. The full plans for the Evergreen Manor development call for a new street to connect to Crompond Road at the intersection of Conklin Avenue, which would form the western boundary of the proposed new parcel.

The proposed 96,980 square-foot building would be three stories and contain 100 assisted living units, with 118 beds. Due to the terrain, the main entrance would be located on the second floor of the building at the rear, with a vehicular drop-off leading to a driveway connecting to the new street. A parking lot with 66 spaces is proposed behind the building, connecting to the driveway as well as an emergency access route leading to Crompond Road. Indoor and outdoor amenity areas are proposed for residents, and new landscaping is proposed around the site along with retaining walls to manage the terrain.

We have reviewed this application under the provisions of Section 239 L, M and N of the General Municipal Law and Section 277.61 of the County Administrative Code and we offer the following comments:

1. Pedestrian circulation.

We appreciate that the applicant indicates that a sidewalk is proposed along the street frontage for the other sections of the Evergreen Manor development, which would provide a safe pedestrian connection

from the development to points west, including the Hospital. However, while sidewalks are proposed within Parcel 1 to connect the building to the parking area, as well as a connection to the other sections of Evergreen Manor, we note that the street sidewalk does not continue along the Parcel 1 frontage, and additionally the proposed building is oriented away from both Crompond Road and the proposed new street. While we understand that assisted living facilities involve special security concerns regarding access to the building, such concerns should not preclude pedestrian infrastructure for employees and visitors, as well as for pedestrians wishing to pass along the street. We recommend that the sidewalk fronting Crompond Road be extended along the full frontage of the proposed Parcel 1, in order to provide safe pedestrian access within the neighborhood and establish a means for future sidewalk extensions east along Crompond Road.

We also recommend that the Town considers establishing a full crosswalk network at the intersection of Crompond Road and the proposed new street/Conklin Avenue. The proposed Evergreen Manor development as a whole will increase the number of residents in the area, and safe pedestrian access is an important consideration in order to provide full access to the sites. We note that the nearest crosswalk is located a half-mile from the Conklin intersection, which bypasses the Hospital and the nearest Bee-Line bus stops, and does not allow for safe crossing to the small commercial cluster on Taylor Avenue. Including a full pedestrian crosswalk system at this intersection would benefit not only future residents of Evergreen Manor, but also existing residents of the surrounding neighborhood.

2. Construction within a regulated stream/wetland buffer.

The proposed development involves disturbance within a wetland buffer area. The County Planning Board consistently recommends that construction and alteration of land within regulated wetlands and stream/wetland buffers should be avoided. This recommendation extends to the siting of stormwater management facilities. We note that the impacts to the wetlands were discussed during the Environmental Impact analysis, and the Town determined that the proposed mitigation measures were sufficient to offset the proposed encroachment. We recommend that the Town and the applicant continue to work to ensure that sufficient measures are maintained within the landscaping plan to fully mitigate the disturbance to the wetland buffer.

We note the regulations for stream and wetland permitting through the NYS DEC have recently been updated. The applicant should submit a Parcel Jurisdiction Determination application to NYS DEC to identify any required permits for the proposed project. More information can be found at the NYS DEC website: <https://dec.ny.gov/nature/waterbodies/wetlands/freshwater-wetlands-program/freshwater-wetland-jurisdictional-determination>.

3. Transportation demand management.

We note that 66 parking spaces are to be provided on the site, yet the zoning code requires only 59 spaces. Ensuring that the transportation needs of residents, employees, and visitors are accommodated through means other than private automobiles is an important factor in reducing the dependency on private vehicle trips and lessening the impact of excessive parking spaces. The County's *Transportation Demand Management Toolkits* provide strategies for municipalities, employers, and developers to reduce the need for single-occupancy vehicle commutes, which could help avoid the need to park private vehicles. We recommend that the Town and applicant review these *Toolkits*,

which can be provided by the Planning Department, to ensure transportation needs are met while reducing the space set aside for vehicles. The County's Smart Commute Program can also assist employers to implement TDM strategies.

4. NYS DOT review.

Crompond Road (US Route 202/NYS Route 35) is a State highway. The Town should forward a copy of the application to NYS DOT to identify any required permits for the proposed project and to evaluate potential traffic impacts to Crompond Road.

5. Bee-Line bus stop.

We note that the full Evergreen Manor development plan may increase ridership of the Bee-Line bus system as new uses are constructed on the site. As the current closest bus stops are located in front of the Hospital, (as noted above without the benefit of a crosswalk to connect the eastbound and westbound stops), the Town and the applicant should contact the County Department of Public Works and Transportation to discuss the possibility of installing a new bus stop at the corner of Conklin Avenue and Crompond Road.

6. Bicycles and personal e-mobility devices.

We encourage the applicant to include a bicycle parking area for visitors and employees in order to provide full parking options within the site. We also recommend that the applicant includes a power supply for the charging of e-bicycles within this bicycle parking area.

7. Stormwater management.

We appreciate that the applicant proposes to install a bioretention basin and utilize permeable pavement within the emergency access driveway, which will provide on-site stormwater management within the property. We encourage the applicant to explore additional at-grade stormwater management solutions that treat runoff on-site wherever possible, such as using pervious paving for parking areas, or the installation of vegetative rain gardens within the landscaped areas.

8. Sewage flows

The proposed development will increase sewage flows from this site into the existing sewage infrastructure. This increased flow will add to the volume of sewage flow requiring treatment at a Water Resource Recovery Facility operated by Westchester County. Since 2010, it has been the policy of the County Planning Board that municipal governments should require applicants to identify mitigation measures that offset projected increase in flow, in order to comply with the *County Environmental Facilities Sewer Act*. The best means to do so is through reductions in inflow/infiltration (I&I) at a ratio of three for one for market rate units and a ratio of one for one for affordable units.

The County Planning Board further recommends that the Town implement a program that requires inspection of sewer laterals from private homes for leaks and illegal connections to the sewer system, such as from sump pumps. These private connections to the system have been found to be a significant

source of avoidable flows. At a minimum, we encourage the Town to enact a requirement that a sewer lateral inspection be conducted at the time property ownership is transferred and any necessary corrective action be enforceable by the municipal building inspector.

9. Recycling.

The Town should require the applicant to verify that there is sufficient space to accommodate the storage needs for recyclables under the County's recycling program. County regulations for recycling may be found at: <https://environment.westchestergov.com/recycling>.

10. Green building technology.

We encourage the applicant to include as much green, or sustainable building technology as possible within the proposed development. We note that no indication has been provided towards the utilization of the rooftop. We recommend that the applicant consider incorporating a solar array or a green roof in order to provide further environmental remediation within the site. In addition, the Town and the applicant should give consideration towards the provision of electric vehicle parking capabilities within the proposed parking area.

11. Universal Design.

We encourage the Town to consider the principles of universal design in this development, in addition to any building standards required by ADA regulations. Universal Design standards allow all residents and visitors to fully engage in our public and residential spaces. Universal Design is also an important means of enabling household residents to age in place, as well as to provide accessible pedestrian access and parking for persons with mobility issues.

Please inform us of the Town's decision so that we can make it a part of the record.

Thank you for calling this matter to our attention.

Respectfully,
WESTCHESTER COUNTY PLANNING BOARD



Bernard Thombs
Chair, Westchester County Planning Board

BT/mv

- cc: Blanca Lopez, Commissioner, Westchester County Department of Planning
Vincent Kopicki, Commissioner, Westchester County Department of Environmental Facilities
Steve Elie-Pierre, Director of Maintenance, Westchester County Department of Environmental Facilities
Craig Lader, Director of Transportation Planning, Westchester County Department of Planning
Heather Reiners, Smart Commute Program Coordinator, Westchester County DPW&T
Anne Darelius, NYS Department of Transportation, Region 8
Christopher Lee, NYS Department of Transportation, Region 8



TOWN OF CORTLANDT

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

Chris Kehoe, AICP – Director

Planning Staff:
Heather LaVarnway, CNU-A, AICP
Michelle Robbins, AICP

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914.734.1080

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Cristin Jacoby
Robert Mayes
Joyce C. White

MEMORANDUM

TO: Planning Board Members

FROM: Chris Kehoe, AICP, Planning Director, Department of Planning & Community Development *CK*
Heather LaVarnway, CNU-A, AICP, Planner, Department of Planning & Community Development *HL*

SUBJECT: PB 2025-5 Application of VS Construction Corp. for Site Plan approval and for Tree, Wetland and Steep Slope permits for a proposed 97,700 sq. ft. Assisted Living Facility located in the Medical Oriented District (MOD) at 2003 Crompond Road. Drawings dated January 23, 2025.

DATE: January 16, 2026

The Planning Department issued an initial review of the subject application in a letter dated 3/22/25. Numerous technical meetings have been held with Town staff and the applicant and their representatives, resulting in revised plans submitted to the Town. This review memo addresses the plan set (2 packets) with sheets SP-0.1 through EX-1.0, labeled "Site Plan Application – Parcel 1" with a revised date of November 20, 2025.

- NOTE: Sheet SP-0.2 Removals Plan is listed on the sheet index but was not included in the submission.

COMMENTS

Upon review of the revised plan set, we offer the following observations and comments:

- Retaining Walls:** This project includes the construction of over 2,400 linear feet of retaining walls, with an average height of 8-12 feet and some areas extending up to 18 feet tall. These walls will be a prominent site feature of this project; their massing and visual impacts are important considerations for the Planning Board to understand and evaluate. As such:
 - The section of retaining wall that curves around in front of the building, at the intersection of Route 202 and the new cul-de-sac, will be 14 feet tall. The applicant shall investigate the possibility of tiering this section of wall and adding robust plantings between levels, in an effort to reduce their visual impact at this important intersection.
 - The applicant shall provide material samples to the Board, along with photos of installed examples, so they can evaluate the proposed material(s)/color(s).
- Perspective Renderings:** The applicant previously provided two perspective views of the project (sheet A0.0 showing view from the intersection at 202 and new road, and sheet A0.1 showing view of the main entrance facade on the south side of the building). These views shall be revised to include a standard scale figure (6-foot-tall) for reference. The following additional perspective views – showing the building, retaining walls, proposed landscape treatment, and the standard scale figure – shall be provided:
 - View from Route 202 looking southwest, in area of emergency access road;
 - Straight-on view from Route 202, halfway between emergency access and traffic light at new cul-de-sac intersection.

- C. View from the new road looking southeast, in the area about halfway between Route 202 and the vehicular entrance to the assisted living site.
3. **Fences:** There are numerous fence labels shown on sheet SP-1.0 but it is not clear what types of fencing are proposed in which locations. A few labels are tagged to detail #11 on sheet SP-6.1 but none of the other labels include detail references, and the only fence detail provided is for a chain link fence. It appears that more than one type of fencing is proposed as the perspective renderings show a black iron fence atop some of the retaining walls, and a white aluminum fence in some areas. The applicant shall show details for all proposed fence types, and clearly label every section of fence on the plan with reference to the associated fence detail. Chain link fencing should be avoided where possible. Any fenced outdoor areas that will be programmed for resident use shall be labeled accordingly.
 4. **Landscaping:**
 - A. The Site Landscape Plan (sheet SP-4.1) shows broad plant categories and notes the total number of plants proposed in each category, along with examples of specific plants that may be selected for that category, but a precise list and corresponding key to the landscape plan is not shown. A standard planting schedule is required, and shall include the name, quantity (not area), and size at planting of each plant material selected, along with a plant-specific key to the landscape plan. Generic plant material entries such as "Quercus SPP" are not sufficient.
 - B. The applicant should evaluate a less linear approach to the landscaping along Route 202 between the emergency access road and the new cul-de-sac. Acknowledging that the 60"-diameter underground drainage pipe running parallel to Route 202 in this vicinity could influence the location and types of plantings between the building and the road, areas should be identified where larger groupings of trees/shrubs could be clustered, with some specimen trees included between clusters. This could help break up the view of the building from Route 202, while also providing opportunities to highlight portions of the building in areas where the plantings open up.
 - C. The five (5) evergreens shown at the corner of the building near the intersection of 202 and the new cul-de-sac are too few, and spaced too far apart. Additional and varied trees should be added to this area, to help soften the view of the 3-story building as it sits atop a ±14-tall retaining wall.
 - D. The applicant shall clarify whether any landscaping is proposed within the fenced-in areas flanking the main entrance, the interior courtyard, and any other fenced areas on site. If so, that information should be added to the landscape plan.
 - E. The Site Grading and Drainage Plan (sheet SP-2.0) shows numerous stormwater planters around the foundation of the building (both along the exterior and within the courtyard). No detail is provided explaining how these planters will be designed, and the Site Landscape Plan shows other landscaping treatments where the stormwater planters are shown on SP-2.0. The applicant shall clarify whether the stormwater plans are actually proposed and, if so, provide a detail and maintenance plan for them, along with a planting schedule showing the specific type, quantity and size of their proposed plant materials.
 - F. Wherever possible, native/indigenous plant materials should be selected in favor of non-natives.
 5. **Parking Lot Landscaping:** Per §307-22, the minimum required landscaping for parking lots with 30 or more vehicles must be included *within the perimeter* of the lot. The calculations provided at the bottom right of sheet SP-4.1 indicate that a 1,285 square foot "landscape perimeter" has been provided. The applicant shall provide a colored plan graphic clearly showing the parking lot area, and the associated landscaped areas within that perimeter that area being counted towards parking lot landscaping. These areas must be within the perimeter of the parking lot.

6. **Lighting:**

- A. The overall lighting levels in most areas of the site are acceptable, though there are some hot spots in the 2-4 footcandle range, primarily around the pole fixtures. The applicant should evaluate whether the lighting plan can be modified to eliminate those hot spots.
- B. The applicant shall provide fixture specifications for the proposed bollard light fixture, and clarify how many bollards are proposed. The Lighting Plan (SP-5.1) shows five bollards (B1-B5) but the fixture schedule indicates only three are proposed.
- C. The applicant shall clarify whether any outdoor lighting is proposed beneath the porte-cochere. If so, fixture details shall be provided and the associated photometrics shall be added to the lighting plan.
- D. The applicant shall clarify whether any exterior wall-mounted light fixtures are proposed. If so, fixture details shall be provided and the associated photometrics added to the lighting plan.
- E. The Sentry "acorn style" fixture does not appear to be Dark Sky compliant. No BUG ratings were provided and we are concerned that, depending on where within the fixture the LEDs are located, there could be substantial glare issues. If acorn-style fixtures are preferred by the applicant, we suggest finding an alternative fixture that is Dark Sky compliant and where the bulbs are hidden up in the cap of the acorn, which could help to reduce glare.

7. **Tree Removals:** The applicant shall provide a clear, detailed list of all trees proposed to be removed, and an accounting of whether any are specimen/protected trees and/or on steep slopes of 25% or greater.

8. **Steep Slopes:**

- A. A more granular analysis of the slopes between 15-30% is necessary. As such, the applicant shall revise the Steep Slopes Map for Overall Site (sheet SP-12.0) to differentiate between slopes of 15-20%, 20-25%, and 25-30%. The corresponding map legend shall clearly label what each color used represents.
- B. On the Steep Slopes Map (Parcel 1), sheet SP-12.1, the applicant shall apply a level of transparency to the proposed building and parking area in order to ensure that the areas of steep slope disturbance are still visible.

9. **Signage:** The applicant shall provide as much information as is known regarding how signage will be handled for the site, such as sign type, location, size, and whether/how it may be illuminated. Advance consideration should be given to how the signage for the assisted living facility will integrate with other signage that may be requested as the parent parcel is further developed in the future.

10. **Trash Enclosure:** The applicant proposes to surround the trash enclosure with aluminum fencing. A more durable material should be considered for this area as aluminum fencing is easily damaged and may not hold up over time. Per §154-4. A of the Town zoning code, acceptable materials include "wood lumber, composite lumber, masonry, concrete or a suitable sturdy material conditioned to withstand the weather." Chapter 154 of the Town's zoning code has additional dumpster enclosure standards that should be reviewed.

11. **Refuse Vehicle Maneuvering:** The Parcel 1 Refuse Vehicle Maneuvering Plan (sheet SP-11.2) shows the truck approaching the dumpsters at an angle versus head-on, calling into question how the truck would be able to lift the dumpsters. The applicant shall evaluate the proposed design to either confirm its functionality as proposed, or revise as necessary.

Cc: Dr. Richard Becker, Supervisor
James Creighton, Town Board Liaison
Michael Cunningham, Esq., Deputy Town Attorney
Catherine Brosnan, P.E., Assistant Civil Engineer
Michael Preziosi, P.E., Director of Technical Services
Mark Gratz, P.E., DTS

Chris Lapine, P.E., Planning Board Engineer
VS Construction
David Steinmetz, Esq.
Matthew Steinberg, AICP, DTS
Michael Stein, R.A.
Steve Marino, PWS

TO: Town of Cortlandt Planning Board

FROM: Christopher Lapine, PE, LaBella Associates, DPC

DATE: January 20, 2026

RE: 2003 Crompond Road – Evergreen Terrace Parcel 1

LaBella has performed a review of the latest revised site plan application titled “2003 Crompond Road, Cortlandt Manor, New York, Parcel 1.

The following documents were submitted for our review:

November 20, 2025 Submission

- **Response Letter from DTS Provident, dated November 20, 2025**
- **Submatic Design Calculations For Retaining Walls, dated October 29, 2025**
- **Stormwater Management Summary Draft – November 20, 2025**
- **Site Plan Application – Parcel 1 for 2003 Crompond Road prepared by DTS Provident Design Engineering, LLP.**
 1. Cover Sheet, Revised November 20, 2025
 2. Sheet SP-0.1 – Parcel 1 - Master Site Plan, last revised November 20, 2025
 3. Sheet SP-0.2 – Site Removals Plan, last revised November 20, 2025
 4. Sheet SP-1.0 – Parcel 1 - Site Layout Plan, last revised November 20, 2025
 5. Sheet SP-2.0 – Parcel 1 - Site Grading and Drainage Plan, last revised November 20, 2025
 6. Sheet SP-3.0 – Parcel 1 - Site Utility Plan, last revised November 20, 2025
 7. Sheet SP-4.1 – Parcel 1 - Site Landscape Plan, last revised November 20, 2025 (Review by Town Planning)
 8. Sheet SP-4.2 – Plant List and Planting Details, last revised November, 2025 (Review by Town Planning)
 9. Sheet SP-5.1 – Site Lighting Plan, last revised November 20, 2025 (Review by Town Planning)
 10. Sheet SP-5.2 – Site Lighting Details, last revised November 20, 2025 (Review by Town Planning)
 11. Sheet SP-6.1 – Parcel 1 - Site and Utility Details, last revised November 20, 2025
 12. Sheet SP-6.2 – Parcel 1 - Site and Utility Details, last revised November 20, 2025
 13. Sheet SP-6.3 – Site and Utility Details, last revised November 20, 2025
 14. Sheet SP-6.4 – Site Details – Retaining Walls, last revised November 20, 2025
 15. Sheet SP-6.5 – Site Details – Retaining Walls, last revised November 20, 2025
 16. Sheet SP-6.6 – Site Details – Retaining Walls, last revised November 20, 2025
 17. Sheet SP-6.7 – Site Details – Retaining Walls, last revised November 20, 2025
 18. Sheet SP-6.8 – Site Details – Retaining Walls, last revised November 20, 2025
 19. Sheet SP-6.9 – Site Details – Retaining Walls, last revised November 20, 2025
 20. Sheet SP-6.10 – Site Details – Retaining Walls, last revised November 20, 2025

21. Sheet SP-6.11 – Site Details – Retaining Walls, last revised November 20, 2025
22. Sheet SP-7.1 – Erosion and Sediment Control Plan, last revised November 20, 2025
23. Sheet SP-7.2 – Erosion and Sediment Control Plan, last revised November 20, 2025
24. Sheet SP-7.3 – Erosion and Sediment Control Details, last revised November 20, 2025
25. Sheet SP- 8.0 – Driveway Profile, last revised November 20, 2025
26. Sheet SP-9.0 – Utility Profiles, last revised November 20, 2025
27. Sheet SP-10.0 -Tree Removals Plan, last revised November 20, 2025 (Review by Town Planning)
28. Sheet SP-11.0 – Emergency Service Vehicle Maneuvering Plan, last revised November 20, 2025
29. Sheet SP-11.1 – Refuse Truck Turning Movements, dated November 20, 2025
30. Sheet SP-11.2 – Delivery Truck Turning Movements, dated November 20, 2025
31. Sheet SP-12.0 – Steep Slopes Map for Overall Site, dated November 20, 2025
32. Sheet SP-12.1 - Steep Slopes Map (Parcel 1), dated November 20, 2025.
33. Sheet EX1.0 – Existing Conditions Plan, dated November 20, 2025

Our office offers the following comments:

Administrative

1. ALL plans subsequently submitted to the Town for review must be designed for construction and be complete for review by all regulatory agencies having jurisdiction (e.g. WCDOH, WCDEF, NYSDEC, NYSDOT, etc.).
2. ALL approvals must be received by regulatory agencies having jurisdiction prior to commencement of ANY construction activities.
3. It is understood, and Engineer's Report has been submitted to the Town Department of Technical Services for review. When received, please provide the Planning Board a copy of the letter from the Town's Water Division indicating that the water system has the capacity to provide finished water storage for the project after all other committed flows.
4. The on-site water supply, with the exception of building lateral, will become a public water supply. A written request addressed to the Town Supervisor and Town Board must be submitted by the applicant regarding the water mains. The applicant shall submit a written request that identifies all utilities and infrastructure proposed for dedication to the town. This shall also include a Map, Plan and Report (MPR) to the Town for the water facilities.
5. The applicant has indicated they will consider trench stabilization measures as part of the final design. This comment will remain until addressed.
6. The applicant has provided responses to the comments issued by the fire department. The fire department should review the most recent submission to determine if the applicants' responses adequately address their concerns.

Submatic Design Calculations For Retaining Walls, dated October 29, 2025

1. Was a geotechnical report reviewed to aid in the design and selection of the in-situ soil design parameters, allowable bearing capacity?
2. As indicated in the retaining wall design calculations, has the geotechnical engineer reviewed the soil parameter assumptions?
3. Has the geotechnical engineer confirmed the foundation soils can safely support the MSE wall design?

4. Fence at top of wall is indicated to be 3-ft behind front face of wall(s) and therefore not included in design. Verify with project team if this is met everywhere. Include additional forces on upper geogrid if condition is not met.
5. The use of a sleeve-it is mentioned, at these potential locations, do the geogrid lengths need to be adjusted.
6. Verify if the building foundation imparts loading onto Wall 4B geogrids, no surcharge is included in the design calculations.

Plans

1. SP-1.0 – Please provide dimensions associated with the setbacks.
2. SP-1.0 – The applicant has indicated they will provide details of the proposed emergency gate and will be coordinated with the fire code official and included on the plans prior to final approval.
3. SP1.0 – Shift ADA signage to northern portion of sidewalk so as to not impede sidewalk and accessible path.
4. SP1.0 - Provide callout for asphalt, curbing, and sidewalk details, and where curbing is flush with pavement.
5. SP1.0 – Provide maintenance requirements for proposed grass pavers.
6. SP1.0 – Provide door locations.
7. SP-2.0 – Revised the plans to include all proposed topographic lines. It appears proposed contours are missing from the access and parking areas.
8. SP-2.0 – Spot elevations depict slope in parking lots of less than 1 % on eastern side of the building, which will create ponding and icing conditions. Please revisit the grading. Additional catch basins may be warranted.
9. SP2.0 – Provide spot elevations within courtyard area, and top of curb and bottom of curb to distinguish between flush and standard curbing heights; as well as in ADA accessible areas to demonstrate compliance with required slopes.
10. SP-2.0 – The secondary walkway has slopes in excess of 18%. Please revisit grading and provide accommodating slope. How is drainage area captured and directed to the stormwater management system.
11. SP-2.0 – Provide an outlet for the proposed stormwater planters with detailed information including sizing and elevations.
12. SP2.0 – The outlet of ES-BM-13 is lower than the bottom elevation of the bioretention basin.
13. SP-2.0 – The retaining wall underdrains on the eastern side of the parcel should not be directed to stormwater management practices.
14. SP-2.0 – The slope arrows for the proposed driveway is not consistent with the slopes shown on sheet SP-8.0. Revise the plans for consistency.
15. SP-2.0 - Provide a drainage swale along the top of retaining wall 1.
16. Sp-2.0 – Delineate watershed of roof top for each planter.
17. SP2.0 – Provide pipe size in and out, invert in and out, and rim elevation of underground sand filter.
18. SP-2.0 – Depict underdrains beneath asphalt pavement on the plans.
19. SP-2.0 – Ponding depth depicted is 0.5-ft as opposed to 1.0-ft shown in report.
20. SP2.0 – Revisit DMH-BM3 rim elevation as it is considerably higher than adjoining grades.
21. SP-2.0 – The 14-foot retaining wall at northwest corner of the building appears imposing especially below the footprint of the building, Provide terracing of the retaining wall to create planting pockets for greenery to soften the hard structure appearance on-site at the main entry to site.

22. SP-3.0 – A 1,500-gal grease trap has been added to the plans. The applicant should provide appropriate sizing for grease trap, sampling manhole, and connection to exterior sanitary system.
23. SP-3.0 – It does not appear sufficient room is provided between the sanitary sewer manholes BM5 and BM3 and the proposed storm sewer. Revise the plans for constructability.
24. SP3.0 – Maintain 10-ft separation between water line and SMH-BM1.
25. SP4.1 – Confirm placement of 5-foot diameter culvert along Crompond Road will not impact proposed landscaping.
26. SP-6.2 – Provide a detail for the outlet control structure for all stormwater management practices (including DMH-BM-3).
27. SP-6.2 – Provide dimensions (length, width, depth) for the riprap outlet protection, as well as d50 size of stone.
28. SP-6.2 – Provide drainage manhole details for DI BM-6, DI BM-5, and DMH-BM-3 where there are 5-foot diameter inlet and outlet pipes; stormwater planter; bio-retention; and underground sand filter detail.
29. SP-6.3 – Provide drop manhole details for BM4 and MA3.
30. SP-6.4 – (sheet 2 of 30) Note 2.4.1. Confirm the project engineer verified the loading conditions. The wall design indicates no building foundation loads were considered.
31. SP-6.4 – (sheet 2 of 30) Note 2.6.1 indicates a maximum allowable bearing of 3,500 psf is required. Confirm this value aligns with the geotechnical report.
32. SP-6.4 – (sheet 3 of 30) Confirm limits of disturbance allows for safe excavation for the indicated geogrid lengths (e.g. tiered RWs 1 and 2 are being constructed into a hill side).
33. SP-6.4 – (sheet 3 of 30) Wall 3 is set back 5-ft from property line and has a geogrid length of 9 feet and 1-foot of drainage stone. Revise property line or design. .
34. SP-6.4 – (sheet 4 of 30) Shows a wall drain discharging into the basin. This conflicts with general note 1 on sheet SP-6.4 (wall drain shall not discharge to any stormwater treatment practice).
35. SP-6.5 – (sheet 8 of 30) Geogrid length for RW1F should be adjusted to L=17 feet per design calculations and as indicated on callout (sheet 9 of 30).
36. SP-6.9 – (sheet 23 and 24 of 30) RW design case 5B should be referenced with corresponding geogrid length.
37. SP-6.9 – (note 2 on sheet 25 of 30) Note 2 states the use of a sleeve-it is indicated if a fence post is to be set directly behind the wall units. Provide a detail for the sleeve-it indicating embedment/placement within the geogrid.
38. SP-6.9 – (sheet 25 of 30) No footing drain is identified in the crushed stone zone directly behind the segmental block units. Verify this is the design intent.
39. SP-6.10 – (sheet 26 of 30) Upper tier walls are shown to discharge onto grade supported by lower tier wall. Verify lower tier design considers additional water into reinforced zones.
40. SP-6.10 – Typical details for geogrid around utilities (e.g. catch basins) and if utility lines are within the reinforced zone should be provided.
41. SP7.1 – Provide a construction sequence detailing the implementation of erosion and sediment control measures prior to the start of construction. The current work schedule provided needs to be expanded to include the phasing of specific project improvements.
42. SP-7.1 – Provide additional silt fence around the northern edge of material stockpile 1 to protect all downhill areas.
43. SP-7.1 – Consideration of interim erosion and sediment control measures should be considered to allow the construction of the retaining walls.
44. SP-7.1 – The outlet of the sediment traps 1 and 2 should be depicted on the plans.
45. SP-7.1 – Provide the locations for the dewatering/ washout pits

46. SP-7.1 – Provide the following:
 - a. Provide pipe sizes on sediment trap detail and provide size and spacing of riser pipe perforations in accordance with the NYSSSESC.
 - b. Provide maintenance schedule and requirements for practices.
47. SP-7.1 - The plans show an arrow that appears to depict a temporary swale between two dewatering pits. This swale appears to be directed uphill. The applicant should review the plans and confirm the direction of this swale.
48. SP7.1 – Provide NYSDOT approved for Sediment Trap 3 discharge connection to their drainage.
49. SP-8.0 – Driveway grades are inconsistent with proposed contours and spot elevations shown on Sheet SP-2.0.
50. SP-9.0- Hydrant stationing has not been provided on sheet SP-9.0 There are two hydrants shown between station 2+00 and 5+00 without stationing.
51. SP-11 –The fire department having jurisdiction will need to opine on the proposed fire access layout.
52. SP-11.1 – The revise refuse truck turning plan demonstrates the vehicle can't access the refuse containers for front loading. Revise the plan to show the proposed vehicle accessing and loading refuse at this location.

Stormwater Management Summary Draft – November 20, 2025

1. Provide SWPPP which is compliant with the NYS DEC SWDM and the GP-0-25-001 and adheres to the Findings Statement of the Medical Oriented District (MOD) adopted March 20, 2023.
2. The applicant should confirm that the existing conditions watershed map matches the previously submitted plans for the evergreen manor road to be dedicated to the down. On the map shown there are discrepancies in watersheds and impervious areas. For example, existing conditions DA-2 has an impervious area of 0.05 acres and proposed conditions has an impervious area of 0.0 acres. Neither appears to be accurate based upon the amount of impervious delineated in the watershed mapping. Additionally, the existing driveway and dwellings are removed as part of as part of the Subdivision plans and their impervious area is included in the pre-development watershed area for Parcel 1.
3. The applicant should review the post-developed conditions map for consistency with the rest of the plans. The following discrepancies have been noted:
 - a. The stormwater routing shown does not match what is shown on SP-2.0 and does not include the proposed stormwater management practices. For example, the 60-inch detention pipe is shown as 240-lf of 60-inch diameter on a flat slope at elevation of 352.04; where Sheet SP-2.0 delineates 3 sections of pipe set at different elevations with a 0.5% slope.
 - b. The site layout on the drainage study does not fully match the site plan set.
4. The post-developed map should be revised to indicate which areas are directed to specific treatment practices and areas delineated.
5. The existing bio-retention area associated with main access road has a different outlet invert and pipe size in HydroCadd model than in Evergreen Manor Main Access Report. Please correct.
6. Provide sizing calculations for each stormwater management practice and sediment trap based on the area directed to it for treatment. Sizing calculations shall be based on the NYS DEC SWDM criteria.
7. Provide the results of the soil testing to support bio-retention infiltration design.

8. Time of concentration for drainage area for Pre-1E should match the same condition as the drainage model for the subdivision,
9. The HydroCAD model should be revised to include the proposed stormwater planters.
10. The HydroCAD model shows an increase in peak flows at design point 2 and 3, as a result of the proposed project, the applicant should review these areas and revise the model as needed.
11. The HydroCAD model should include detention calculations to show how the CPv is provided.
12. Per Part III.A.2. of the GP-0-25-001, describe how the project considers future physical risk due to climate change.
13. Provide a draft maintenance agreement for post development stormwater management practices for review by the Town Attorney.
14. One foot ponding included in model for stormwater practice, and only 0.5-ft shown on plans, Please rectify.
15. The wetland adjacent to Crompond Road and its outlet should be modeled as DP1.

January 21, 2026

Hon. Steven Kessler
Chairman of the Town of Cortlandt Planning Board
and Members of the Planning Board
1 Heady Street
Cortlandt Manor, New York 10567

Re: VS Construction Corp. – Evergreen Manor Parcel 1 – Assisted Living Facility
2003 Crompond Road (PB 2025-5)

Dear Chairman Kessler and Members of the Planning Board:

On behalf of VS Construction Corp and in connection with the Evergreen Manor Parcel 1 Assisted Living Facility Site Plan we offer the following responses to comments received from the Westchester County Planning Board, dated January 13, 2025.

Pedestrian Circulation

- Comment:** *We appreciate that the applicant indicates that a sidewalk is proposed along the street frontage for the other sections of the Evergreen Manor development, which would provide a safe pedestrian connection from the development to points west, including the Hospital. However, while sidewalks are proposed within Parcel 1 to connect the building to the parking area, as well as a connection to the other sections of Evergreen Manor, we note that the street sidewalk does not continue along the Parcel 1 frontage, and additionally the proposed building is oriented away from both Crompond Road and the proposed new street. While we understand that assisted living facilities involve special security concerns regarding access to the building, such concerns should not preclude pedestrian infrastructure for employees and visitors, as well as for pedestrians wishing to pass along the street. We recommend that the sidewalk fronting Crompond Road be extended along the full frontage of the proposed Parcel 1, in order to provide safe pedestrian access within the neighborhood and establish a means for future sidewalk extensions east along Crompond Road.*

We also recommend that the Town considers establishing a full crosswalk network at the intersection of Crompond Road and the proposed new street/Conklin Avenue. The proposed Evergreen Manor development as a whole will increase the number of residents in the area, and safe pedestrian access is an important consideration in order to provide full access to the sites. We note that the nearest crosswalk is located a half-mile from the Conklin intersection, which bypasses the Hospital and the nearest BeeLine bus stops, and does not allow for safe crossing to the small commercial cluster on Taylor Avenue. Including a full pedestrian crosswalk system at this intersection would benefit not only future residents of Evergreen Manor, but also existing residents of the surrounding neighborhood.

Response: The proposed sidewalks are consistent with the proposed action reviewed during the SEQR process to provide pedestrian accessibility within the Medical Oriented District (MOD) between the Evergreen Manor site and the New York-Presbyterian Hudson Valley Hospital (NYPH). As part of the off-site roadway improvements, new crosswalks are proposed at the intersection of Route 202/35 (Crompond Road) and the Gyrodyne driveway/NYPH entrance driveway at all approaches. Additionally, new crosswalks are proposed at the intersection of Crompond Road and Lafayette Avenue on the northbound and eastbound approaches.

Construction Within a Regulated Stream/Wetland Buffer

2. **Comment:** *The proposed development involves disturbance within a wetland buffer area. The County Planning Board consistently recommends that construction and alteration of land within regulated wetlands and stream/wetland buffers should be avoided. This recommendation extends to the siting of stormwater management facilities. We note that the impacts to the wetlands were discussed during the Environmental Impact analysis, and the Town determined that the proposed mitigation measures were sufficient to offset the proposed encroachment. We recommend that the Town and the applicant continue to work to ensure that sufficient measures are maintained within the landscaping plan to fully mitigate the disturbance to the wetland buffer.*

We note the regulations for stream and wetland permitting through the NYS DEC have recently been updated. The applicant should submit a Parcel

Jurisdiction Determination application to NYS DEC to identify any required permits for the proposed project. More information can be found at the NYS DEC website: <https://dec.ny.gov/nature/waterbodies/wetlands/freshwater-wetlandsprogram/freshwater-wetland-jurisdictional-determination>.

Response: The proposed wetland mitigation is being coordinated with the Town. It is the Applicant's understanding that the new regulations would not currently apply to the Project in accordance with 6 NYCRR Part 664, as it did not require a JD prior to January 1, 2025, and has a Final Environmental Impact Statement for the project which has been accepted by a lead agency pursuant to Part 617 of this Title prior to January 1, 2025.

Transportation Demand Management

3. **Comment:** *We note that 66 parking spaces are to be provided on the site, yet the zoning code requires only 59 spaces. Ensuring that the transportation needs of residents, employees, and visitors are accommodated through means other than private automobiles is an important factor in reducing the dependency on private vehicle trips and lessening the impact of excessive parking spaces. The County's Transportation Demand Management Toolkits provide strategies for municipalities, employers, and developers to reduce the need for single-occupancy vehicle commutes, which could help avoid the need to park private vehicles. We recommend that the Town and applicant review these Toolkits, which can be provided by the Planning Department, to ensure transportation needs are met while reducing the space set aside for vehicles. The County's Smart Commute Program can also assist employers to implement TDM strategies.*

Response: The Applicant has reviewed the County's Transportation Demand Management (TDM) Toolkit. There are two existing bus stops within a half mile of the proposed project near Crompond Road at NYPH (serving Bee Line Bus Route 18) and Crompond Road at Buttonwood Road adjacent to the Gyrodyne driveway (serving Bee Line Bus Route 16). Together, these bus routes provide access to Peekskill Metro-North Rail Station along with downtown Peekskill and other commercial shopping centers within Cortlandt, Yorktown, Somers and Mahopac. As suggested by the TDM Toolkit, the Applicant can post bus information for the benefit of its residents, staff and guests.

Additionally, as discussed in response to Comment 1, off-site traffic improvements include the installation of new sidewalks and crosswalk, which will improve the pedestrian experience and connectivity within the MOD. As part of the site plan review process, the Applicant will continue to evaluate its proposed parking to provide a sufficient number of parking spaces to accommodate its program and meet the minimum required parking.

NYS DOT Review

4. **Comment:** *Crompond Road (US Route 202/NYS Route 35) is a State highway. The Town should forward a copy of the application to NYS DOT to identify any required permits for the proposed project and to evaluate potential traffic impacts to Crompond Road.*

Response: Comment noted. Highway Improvement Plans are currently under review by the NYSDOT as part of its review of the proposed development in the MOD, including the proposed project.

Bee-Line Bus Stop

5. **Comment:** *We note that the full Evergreen Manor development plan may increase ridership of the Bee-Line bus system as new uses are constructed on the site. As the current closest bus stops are located in front of the Hospital, (as noted above without the benefit of a crosswalk to connect the eastbound and westbound stops), the Town and the applicant should contact the County Department of Public Works and Transportation to discuss the possibility of installing a new bus stop at the corner of Conklin Avenue and Crompond Road.*

Response: The Applicant will contact Westchester County DPW&T to discuss bus stop locations. It is noted that the existing bus stop at the Gyrodyne driveway, located within approximately 0.3 miles of the project site, will be improved as part of the off-site roadway improvements. Additionally, the new sidewalks from the Evergreen Manor project site will be constructed along Crompond Road to provide improved access to the bus stop.

Bicycles and Personal E-Mobility Devices

6. **Comment:** *We encourage the applicant to include a bicycle parking area for visitors and employees in order to provide full parking options within the site. We also recommend that the applicant includes a power supply for the charging of e-bicycles within this bicycle parking area.*

Response: Comment noted. The Applicant will continue to review with the Town.

Stormwater Management

7. **Comment:** *We appreciate that the applicant proposes to install a bioretention basin and utilize permeable pavement within the emergency access driveway, which will provide on-site stormwater management within the property. We encourage the applicant to explore additional at-grade stormwater management solutions that treat runoff on-site wherever possible, such as using pervious paving for parking areas, or the installation of vegetative rain gardens within the landscaped areas.*

Response: Comment noted.

Sewage Flows

8. **Comment:** *The proposed development will increase sewage flows from this site into the existing sewage infrastructure. This increased flow will add to the volume of sewage flow requiring treatment at a Water Resource Recovery Facility operated by Westchester County. Since 2010, it has been the policy of the County Planning Board that municipal governments should require applicants to identify mitigation measures that offset projected increase in flow, in order to comply with the County Environmental Facilities Sewer Act. The best means to do so is through reductions in inflow/infiltration (I&I) at a ratio of three for one for market rate units and a ratio of one for one for affordable units.*

The County Planning Board further recommends that the Town implement a program that requires inspection of sewer laterals from private homes for leaks and illegal connections to the sewer system, such as from sump pumps. These private connections to the system have been found to be a significant source of avoidable flows. At a minimum, we encourage the Town to enact a requirement that a sewer lateral inspection be conducted at the time property

ownership is transferred and any necessary corrective action be enforceable by the municipal building inspector.

Response: The Applicant is coordinating with the Town of Cortlandt regarding I&I reduction measures.

Recycling

9. **Comment:** *The Town should require the applicant to verify that there is sufficient space to accommodate the storage needs for recyclables under the County's recycling program. County regulations for recycling may be found at: <https://environment.westchestergov.com/recycling>.*

Response: The proposed refuse enclosure has been designed to accommodate two 6-foot-wide dumpsters (up to 8-yard capacity each) that will provide sufficient capacity to store recyclable materials in compliance with the County's regulations for recycling. Recycling will be collected on a weekly basis, at a minimum.

Green Building Technology

10. **Comment:** *We encourage the applicant to include as much green, or sustainable building technology as possible within the proposed development. We note that no indication has been provided towards the utilization of the rooftop. We recommend that the applicant consider incorporating a solar array or a green roof in order to provide further environmental remediation within the site. In addition, the Town and the applicant should give consideration towards the provision of electric vehicle parking capabilities within the proposed parking area.*

Response: The proposed building will be designed to comply with the latest applicable energy codes. The Applicant will continue to review with the Town.

Universal Design

11. **Comment:** *We encourage the Town to consider the principles of universal design in this development, in addition to any building standards required by ADA regulations. Universal Design standards allow all residents and visitors to fully engage in our public and residential spaces. Universal Design is also an important means of enabling household residents to age in place, as well as to*

Chairman Kessler and Members of the Planning Board
Re: Evergreen Manor Parcel 1 - ALR Site Plan

January 21, 2026
Page 7

provide accessible pedestrian access and parking for persons with mobility issues.

Response: Comment noted.

We look forward to continuing our review of this application with the Planning Board.

Very truly yours,

DTS PROVIDENT DESIGN ENGINEERING, LLP



Matthew N. Steinberg, AICP
Senior Associate

Enclosure(s)

cc: D. Steinmetz, VS Construction, Benchmark Senior Living

January 21, 2026

By E-mail and Overnight Mail

Hon. Steven Kessler
Chairman of the Town of Cortlandt Planning Board
and Members of the Board
1 Heady Street
Cortlandt Manor, New York 10567

Re: 70 Roa Hook Realty LLC – Application for Site Plan Approval

Dear Chairman Kessler and Members of the Town Board:

We make this application on behalf of 70 Roa Hook Realty LLC, the owner of 70 Road Hook Road, for Site Plan Approval to permit parts sales and service/repair of Peterbilt trucks at the property (our client is no longer seeking to separate the approvals for these operations). Our client is excited about bringing Leal Peterbilt to Cortlandt. Leal Peterbilt is a commercial Peterbilt truck dealership and service provider based in New York, with locations throughout the greater New York City region. We request placement on the Planning Board's February 2 agenda for a presentation and to formally begin the review process.

As brief background, in November 2017, the Planning Board issued site plan and other approvals for a car wash at the property. The building was mostly constructed, but a certificate of occupancy was not issued pending completion of certain punch list items. The car wash project stalled and never started operations.

Our client purchased the property in 2025 with the intent of modifying the previously approved building and site improvements to accommodate Leal Peterbilt of Westchester. Some of these modifications include increasing the size of the service bays to accommodate trucks, adding bays and removing a portion of the existing building, an addition to the building, and new parking configuration to facilitate truck turning movements.

The following materials are being submitted through the OpenGov portal:

- Project Description – describing the operations of Leal Peterbilt of Westchester, including anticipated daily traffic and parking activity
- Short EAF
- Site Plans, prepared by John J. Gilchrist Architect

- Topographic Survey, prepared by Rowan Land Surveying, PLLC, dated January 15, 2026

Our consultant team is also working on other items, including an updated traffic/parking report by Kimley-Horn (John Canning, PE), confirming certain drainage improvements with NYSDOT, and confirming prior well and septic approvals with Westchester County DOH. We want to begin the application process to receive the Planning Board's initial feedback, knowing that all this and any other additional information requested by the Board and Staff will be provided during the process.

Thank you for the Board's attention.

Respectfully submitted,

ZARIN & STEINMETZ LLP

By: Brad Schwartz
Brad Schwartz

cc: Michael J. Cunningham, Esq.
Chris Kehoe, AICP
Heather Lavarney, CNU-A, AICP
Chris Lapine, PE
Leal Peterbilt Team



January 15th, 2026

**Leal Peterbilt of Westchester (LPW)
70 Roa Hook Rd, Cortlandt Manor NY 10567
Scope of business and activities.**

General Overview of Leal Peterbilt (not Cortlandt specific)

Leal Peterbilt is a commercial **Peterbilt truck dealership and service provider** based in New York, serving the greater New York City region including Queens, Staten Island, Long Island, Bronx, Yonkers and Westchester.

Our core **scope of business and activities** centers on supporting customers in buying, servicing, and maintaining Peterbilt brand trucks and related equipment.

Primary Business Activities

New and Used Truck Sales

The dealership sells **new Peterbilt commercial trucks**—heavy-duty vehicles primarily used in freight hauling, construction, and other industrial transport sectors—as well as **pre-owned trucks** for customers looking for more budget-friendly options.

Parts and Accessories

Leal Peterbilt stocks and sells genuine **Peterbilt parts and accessories**, which are critical for continuing maintenance, upgrades, or repairs of commercial trucks.

Service and Maintenance

We provide **truck servicing and repair work**, often including routine maintenance, diagnostics, and warranty or post-warranty repairs to keep fleets running efficiently.

Support Services

In addition to sales and maintenance, offerings typically include **financing support, rentals/leasing, and possibly or service contract options**, helping customers manage truck ownership costs and uptime.

Overview of Leal Peterbilt of Westchester (Cortlandt specific)

Daily activities. Here's a clear picture of the **typical daily activities** expected at **LPW**.

Hours of Operation

Monday to Friday from 7 am to 5 pm. Saturday from 8 am to 12 pm. Sundays Closed

**Leal Peterbilt
101 Union Ave, Ronkonkoma, NY 11779**



Truck Sales.

95% of our trucks sales are conducted at customers' locations where our sales professionals can understand the customers' operations and needs. As a result, they recommend truck models and configurations, providing pricing and financial options.

Occasionally we will enjoy a potential buyer as a walk in, or a curious person that would like to see and feel a new truck, but those are few and rare. Typically, we do not keep stock trucks for retail sales; most of our trucks come in from the factory, they get prepped and they are picked up by the final user within a week. However, we could potentially keep one or two dump trucks for display since it projects a beautiful and elegant look to the location.

For the first year or so, LPW will employ one person for Truck Sales. Since all our truck sales contracts are electronic, such person will operate from his home office mainly. However, we expect him/her to visit the dealership and make sure that the trucks sold are being prepped accordingly.

Parts Sales & Inventory Management

Thanks to AI, most of our parts sales are done either through phone orders or online (ecommerce). Some of our most efficient Outside Sales Personal work from home. Our phone lines are forwarded to our parts salesman cellphones. However, from time to time our parts team assists customers at the parts counter. Maybe once a day.

LPW parts personnel receive truck replacement parts early in the morning (around 4-5am by box truck) and before noon (around 10-11am by Fed Ex, UPS or comparable vans). We accommodate the parts received either in the warehouse or directly inside our parts delivery van. The parts delivery van will leave our site early in the morning, no later than 8 am and run the delivery route. If necessary, we will run a second route after 11 am. In other words, our delivery van (usually a Ford Maverick or similar) will run in and out of the location twice a day.

Service & Repairs

LPW is planning to run 7 bays for service. Trucks come in for warranty work and larger repairs. We do not provide maintenance service or repairs on trailers. Exclusively on Trucks.

There will be 3 technicians at max capacity, perhaps in 14 to 16 months, including one Service Manager / Foreman who will communicate with customers on scheduling, updates, service needs, cost estimates, and time to completion.

Once a truck is brought to our facility, it could stay for service for a day or a few weeks, depending on the diagnosis, the repair and the ability to source the parts.



We hope to have at least two turns per service bay per month. In other words, we are planning to have 14 trucks to come in and out of the shop per month.

As mentioned before, we do not allow trailers inside our locations. Not for parking, not for dropping off. Our customers know that. We only allow dump trucks, concrete mixer trucks, garbage trucks, oil and fuel trucks, roll offs, box trucks, conventional sleeper tractors and day cab tractors. The largest length of any of these vehicles to be serviced will be less than 30 Ft.

We expect that some customer trucks will be parked outside the service bays waiting for a bay to be available for maintenance. No more than 7, one truck on cue per service bay.

Back-Office & Administration

Administrative work. Billing or invoicing will be done at the location. Payroll, filing warranty claims, updating customer records, and preparing reports is done remotely at our Staten Island location.

Once per week a Senior Manager of our team will be visiting the LPW store to review goals, priorities, training, inventory and anything else needed to run the business accordingly.

Some vendors also like to stop by and support the stores. Usually once a month in most cases that a vendor like Cummins, Eaton, Paccar Parts or similar will stop by, scheduled, and work a training session with a member of our team.

In closing

Employees at location

For Parts Sales. 2 counter and one delivery.

For Service. 3 Techs and one Manager

Vehicles in and out at location

Two deliveries from vendors (by box trucks and vans), one at 4-5 am and one at 10-11 am.

One delivery truck (Ford Maverick or similar) will come in and out twice a day.

Achieving the expected rotation in service, 14 trucks per month.

Occasionally one senior manager visits per week and one vendor visits per month.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

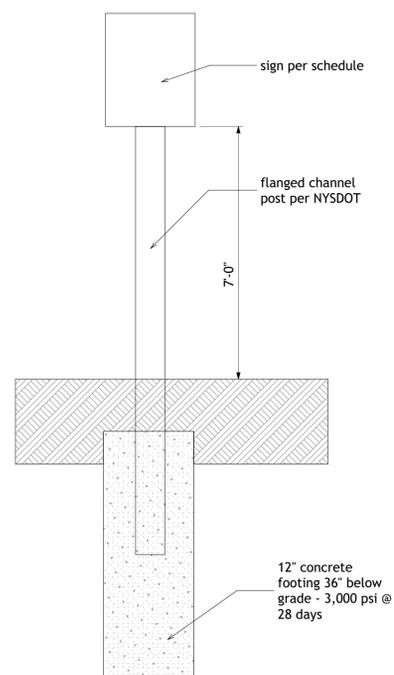
<u>Part 1 – Project and Sponsor Information</u>			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. <u>Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</u>		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. <u>Does the proposed action require a permit, approval or funding from any other government Agency?</u>		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. <u>Total acreage of the site of the proposed action?</u> _____ acres			
b. <u>Total acreage to be physically disturbed?</u> _____ acres			
c. <u>Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?</u> _____ acres			
4. <u>Check all land uses that occur on, are adjoining or near the proposed action:</u>			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. <u>A permitted use under the zoning regulations?</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. <u>Consistent with the adopted comprehensive plan?</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. <u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. <u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u> If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u> b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. <u>Does the proposed action meet or exceed the state energy code requirements?</u> If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. <u>Will the proposed action connect to an existing public/private water supply?</u> If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. <u>Will the proposed action connect to existing wastewater utilities?</u> If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u> b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

Zoning Schedule		
AWE-2 Annsville Waterfront Enhancement District	Ordinance	Proposed
(a) Minimum Lot Area	7,500	28,061
(b) Minimum Lot Width	50	173
(c) Maximum Building Coverage	30%	24.1%
(d) Yards	10	44
Required Front Yard	10	
Required Side Yard	10	16.1 West / 30.1 East
Required Rear Yard	10	32.8
(e) Maximum Height (stories)	2.5	1
(f) Maximum Height (feet)	35	30

Existing Floor Area	4,649
Additions	2,107
Total Building Area	6,756
Employees	6
Total	6

Sign Summary				
M.U.T.C.D. Number	Specification		Desc.	
	Width	Height		
R1-1	30"	30"	STOP	
R3-2	24"	24"		
R7-1	12"	18"	NO PARKING ANY TIME	
R7-8	12"	18"		
		12"	6"	
		12"	6"	
R8-3hP	24"	18"	7:00 AM TO 9:00 AM & 4:00 PM TO 6:00 PM WEEKDAYS	
R8-31	12"	18"	NO PARKING FIRE LANE	

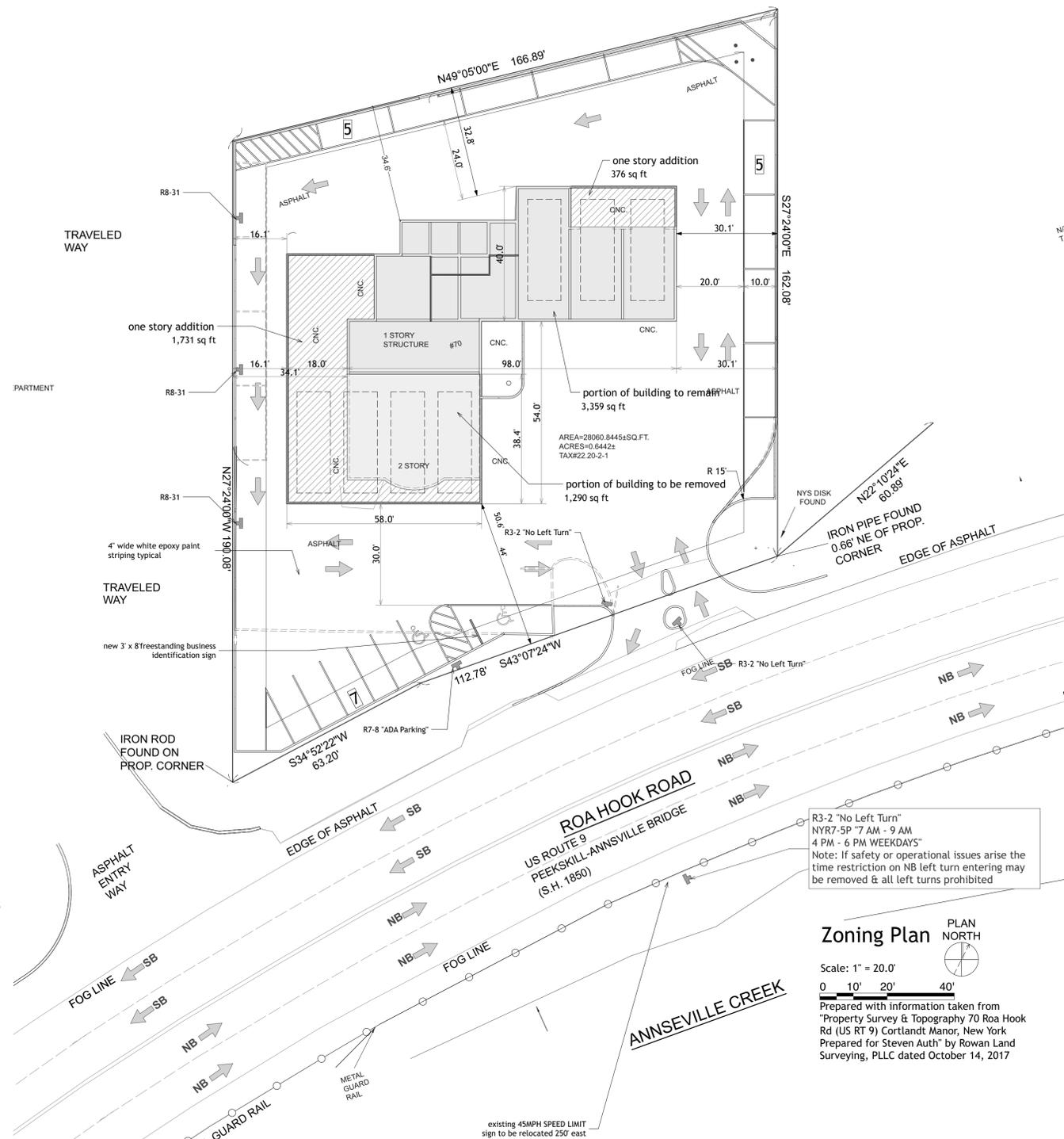


Traffic Sign Detail



Site Location Plan

SCALE: 1" = 100'



Zoning Plan

Scale: 1" = 20.0'

0 10' 20' 40'

Prepared with information taken from "Property Survey & Topography 70 Roa Hook Rd (US RT 9) Cortlandt Manor, New York Prepared for Steven Auth" by Rowan Land Surveying, PLLC dated October 14, 2017

JOHN J GILCHRIST ARCHITECT
A Professional Corporation

Table of Required Permits

1. Town of Cortlandt Site Plan Approval, Steep Slope Permit, Tree Removal Permit & Building Permit
2. Westchester County Department of Health Well & Septic Approvals
3. New York Department of Transportation Road Opening Permit

Index

1. Zoning Plan
2. Site Plan
3. Landscaping Plan
4. Building Plans & Elevations

1-22-26	for review	JJG
9-29-25	for review	JJG
Date	Issue	Initial

Zoning Plan

New Sales & Service Building for
Leal Peterbilt
70 Roa Hook Road
Town of Cortlandt
Westchester County
New York
Lot 1 Block 2 Section 22.20



NY 024343-01 exp 03-31-2027

It is a violation of the law for any person, unless acting under the direction of the licensed architect, to alter any item in the plans, specifications or reports to which the seal of the architect has been applied in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to this item the seal and the notation "altered by" followed by the architect's signature and the date of such alteration and a specific description of the alteration.

John J Gilchrist
Architect

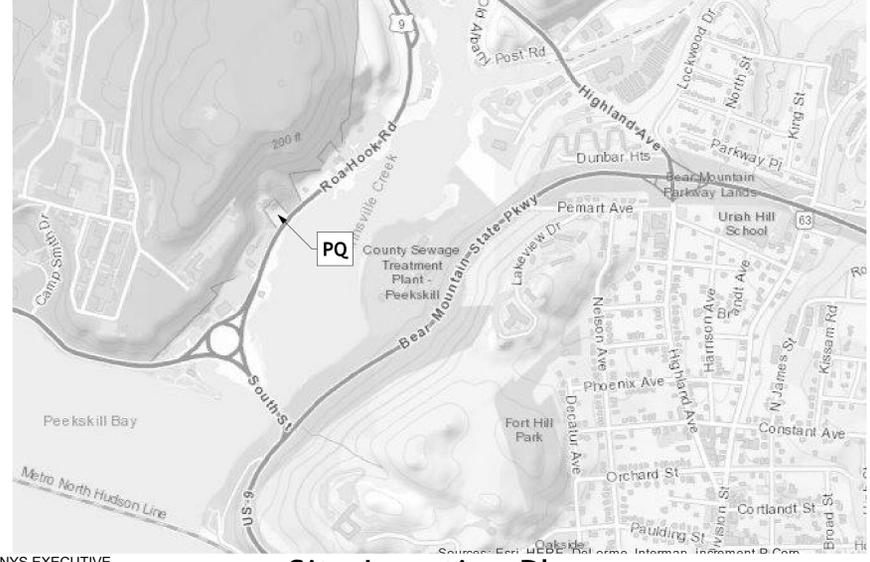
A Professional Corporation
8 Coach Lane
Upper Saddle River
New Jersey 07458
Phone 201 573 1877
JJGAPC@gmail.com

1" = 20.0' Peterbilt
250311 1 of 5

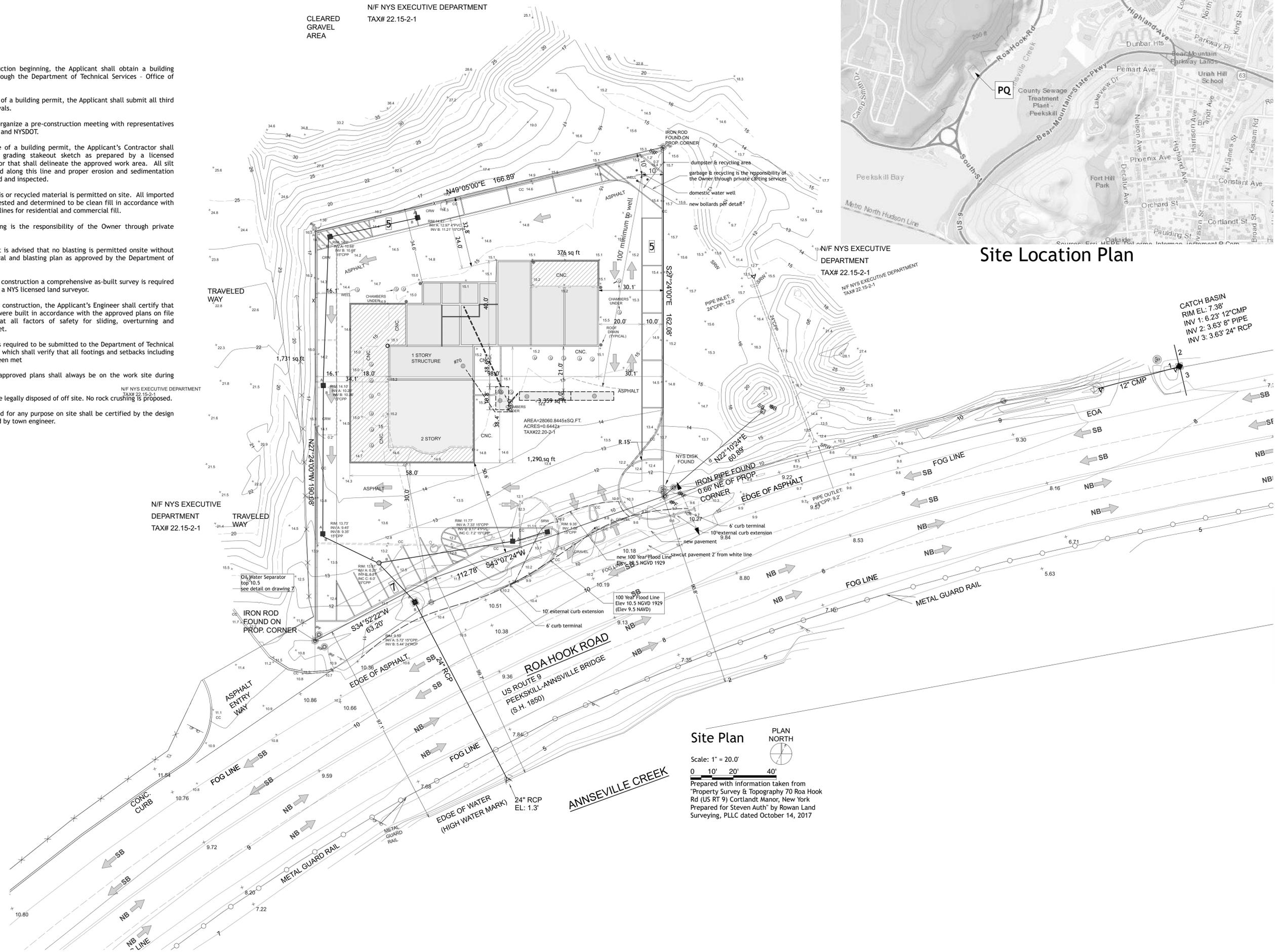
General Notes

- a. Prior to any construction beginning, the Applicant shall obtain a building permit administered through the Department of Technical Services - Office of Code Enforcement.
- b. Prior to the issuance of a building permit, the Applicant shall submit all third party permits and approvals.
- c. The Applicant shall organize a pre-construction meeting with representatives of the Town of Cortlandt and NYSDOT.
- d. Prior to the issuance of a building permit, the Applicant's Contractor shall submit a clearing and grading stakeout sketch as prepared by a licensed professional land surveyor that shall delineate the approved work area. All silt fencing shall be installed along this line and proper erosion and sedimentation controls shall be installed and inspected.
- e. No construction debris or recycled material is permitted on site. All imported fill shall be laboratory tested and determined to be clean fill in accordance with applicable NYDEC guidelines for residential and commercial fill.
- f. Garbage and recycling is the responsibility of the Owner through private carting services.
- g. The Owner/Applicant is advised that no blasting is permitted onsite without an approved rock removal and blasting plan as approved by the Department of Technical Services.
- h. At the completion of construction a comprehensive as-built survey is required and shall be prepared by a NYS licensed land surveyor.
- i. At the completion of construction, the Applicant's Engineer shall certify that all retaining structures were built in accordance with the approved plans on file with the Town and that all factors of safety for sliding, overturning and settlement have been met.
- j. A foundation survey is required to be submitted to the Department of Technical Services upon completion which shall verify that all footings and setbacks including granted variances have been met.
- k. Copies of permit & approved plans shall always be on the work site during construction.
- l. Excess cut soil shall be legally disposed of off site. No rock crushing is proposed.
- m. On site soil to be used for any purpose on site shall be certified by the design professional and approved by town engineer.

N/F NYS EXECUTIVE DEPARTMENT
 TAX# 22.15-2-1
 CLEARED GRAVEL AREA



Site Location Plan



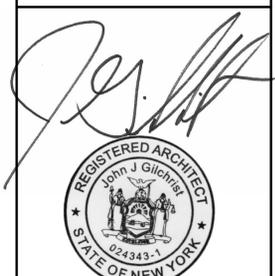
Site Plan PLAN NORTH
 Scale: 1" = 20.0'
 0 10' 20' 40'
 Prepared with information taken from "Property Survey & Topography 70 Roa Hook Rd (US RT 9) Cortlandt Manor, New York Prepared for Steven Auth" by Rowan Land Surveying, PLLC dated October 14, 2017

JOHN J GILCHRIST ARCHITECT
 A Professional Corporation

Date	Issue	Initial
1-22-26	for review	JJG
9-29-25	for review	JJG

Site Plan

New Sales & Service Building for
Leal Peterbilt
 70 Roa Hook Road
 Town of Cortlandt
 Westchester County
 New York
 Lot 1 Block 2 Section 22.20



NY 024343-01 exp 03-31-2027
 It is a violation of the law for any person, unless acting under the direction of the licensed architect, to alter any item in the plans, specifications or reports to which the seal of the architect has been applied in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to this item the seal and the notation "altered by" followed by the architect's signature and the date of such alteration and a specific description of the alteration.

John J Gilchrist Architect
 A Professional Corporation
 8 Coach Lane
 Upper Saddle River
 New Jersey 07458
 Phone 201 573 1877
 JJGAPC@gmail.com

Permanent Seeding:

Permanent seeding will be applied immediately after the final design grades are achieved at the site but no later than 14 days after construction activities have permanently ceased. After the entire site is stabilized, any sediment that has accumulated will be removed and hauled off site to a licensed landfill facility. Construction debris, trash, and temporary BMP's will also be removed in areas disturbed during removal will be seeded immediately.

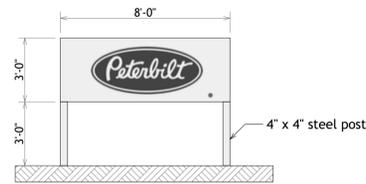
Seedbed Preparation:

- Topsoil will be spread over final graded areas at a minimum depth of four inches.
- The seedbed will be free of rocks, woody debris and other objectionable material.
- Fertilizer will be applied to the seedbed as specified in the appendix.
- Topsoil will be loosened by raking, tilling or other suitable methods.

Installation schedule: Portions of the site where construction activities have permanently ceased will be stabilized, as soon as possible but not later than 14 days after construction ceases. Maintenance and Inspection: All seeded areas will be inspected weekly during construction activities for failure until a dense cover of vegetation has been established. If failure is noticed on the seeded area, the area will be seeded, fertilized and mulched immediately. After construction is complete at the site permanent stabilization measures will be monitored until final stabilization is reached.

Tree Removal & Protection Notes

- All removal of trees on property are to be minimized & shall be tagged by the contractor & inspected by the Town of Cortlandt prior to cutting. Tree wells shall be constructed around all trees that would be impacted as a result of cutting & filling.
- All trees designated for preservation shall be clearly marked w/ a bright colored ribbon or other easily discernible method.

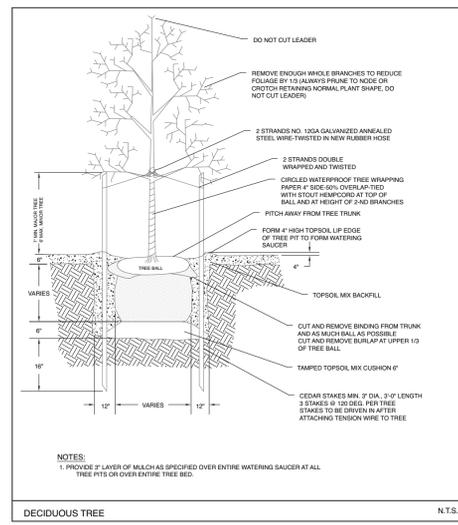
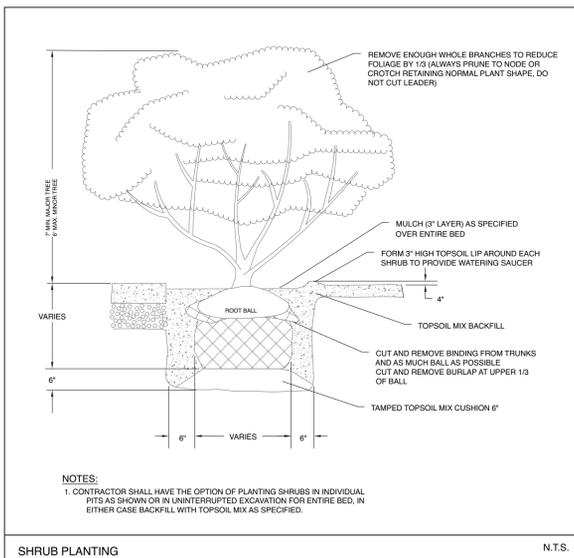
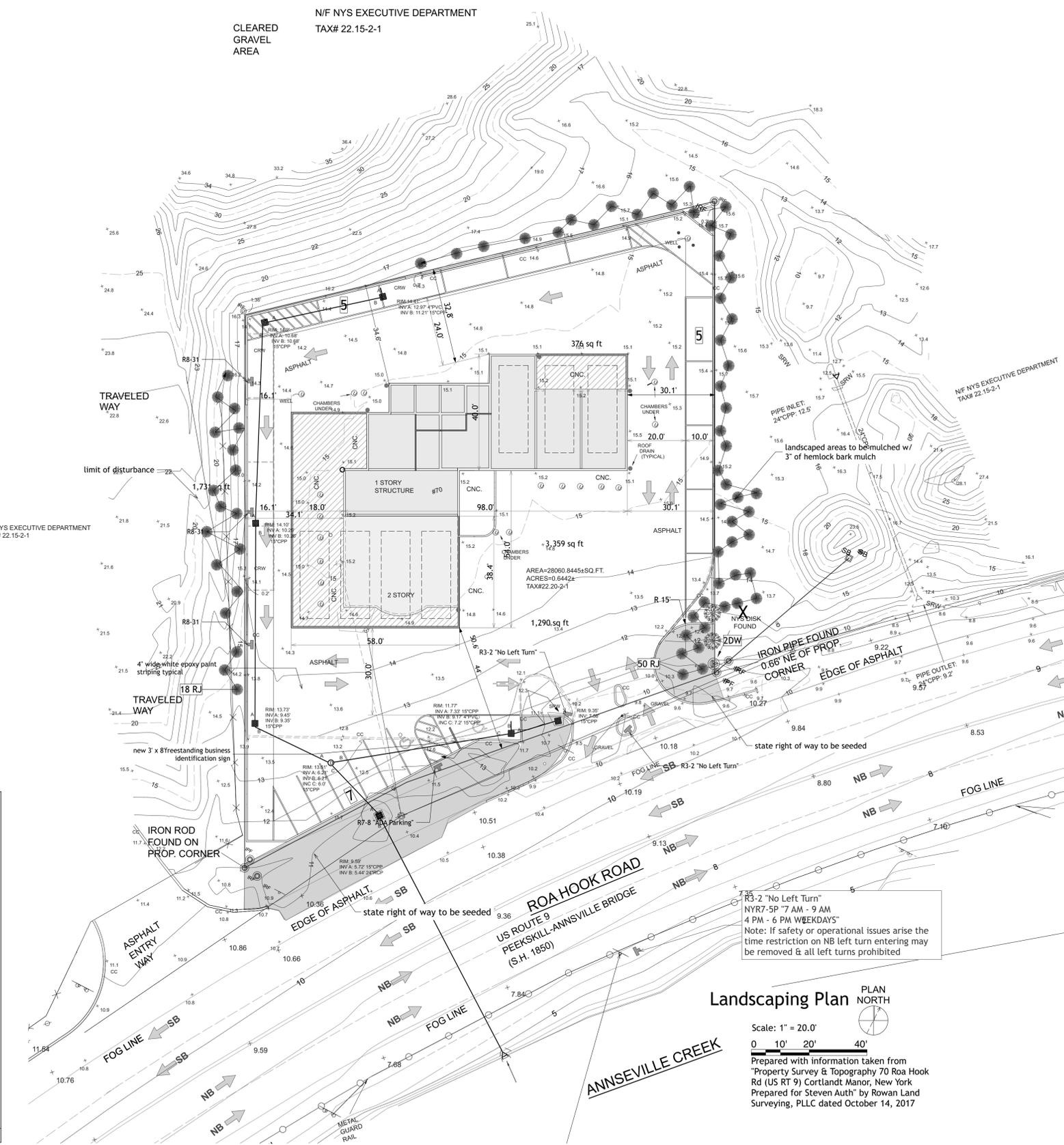


Freestanding Sign Detail

SCALE: 1/4" = 1'-0"

Plant List

Key	Scientific Name	Common Name	Quantity	Size
DW	Cornus Sericea "Flaviramea"	Yellow Twig Dogwood		2-3"
RJ	Juniperus Horizontalis "Wilton"	Wilton's Blue Rug Juniper		2 gallon
ML	Kalmia latifolia Sarah	Sarah Mountain Laurel		2 gallon
GC	Chamaecyparis pisifera	Golden Cyprus		2 gallon
BS	Picea pungens Waldbrunn	Waldbrunn Dwarf Blue Spruce		5 gallon
WA	Azalea Delaware Valley White	White Azalea		5 gallon
R	Rhododendron Northern Starburst	Rhododendron		3 gallon



Landscaping Plan

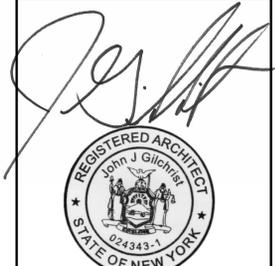
Scale: 1" = 20.0'
 0 10' 20' 40'
 Prepared with information taken from "Property Survey & Topography 70 Roa Hook Rd (US RT 9) Cortlandt Manor, New York Prepared for Steven Auth" by Rowan Land Surveying, PLLC dated October 14, 2017

JOHN J GILCHRIST ARCHITECT
 A Professional Corporation

Date	Issue	Initial
1-22-26	for review	JJG
9-29-25	for review	JJG

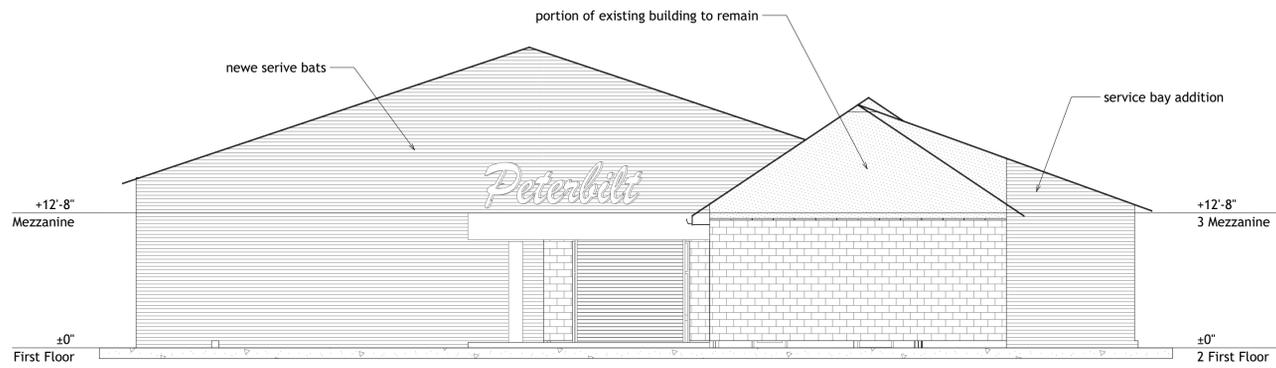
Landscaping Plan

New Sales & Service Building for
Leal Peterbilt
 70 Roa Hook Road
 Town of Cortlandt
 Westchester County
 New York
 Lot 1 Block 2 Section 22.20



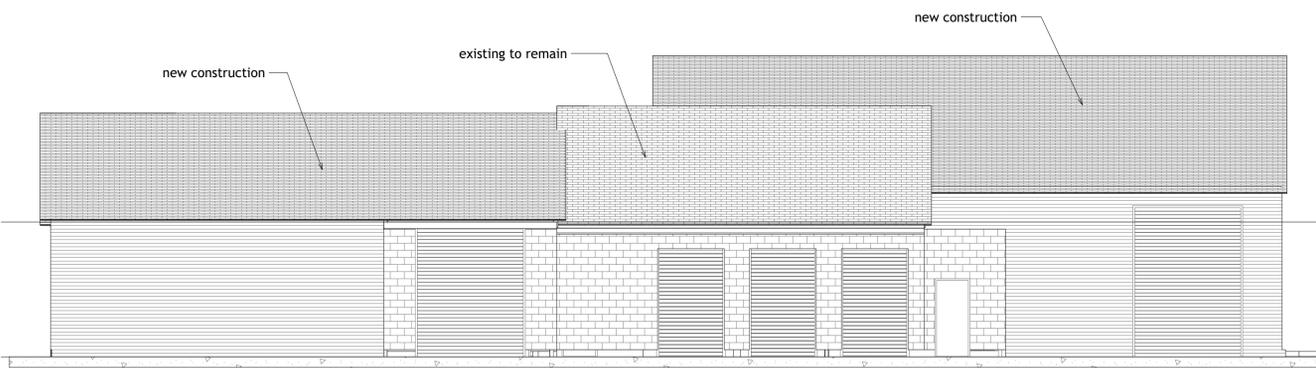
NY 024343-01 exp 03-31-2027
 It is a violation of the law for any person, unless acting under the direction of the licensed architect, to alter any item in the plans, specifications or reports to which the seal of the architect has been applied in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to this item the seal and the notation "altered by" followed by the architect's signature and the date of such alteration and a specific description of the alteration.

John J Gilchrist Architect
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 JJGAPC@gmail.com



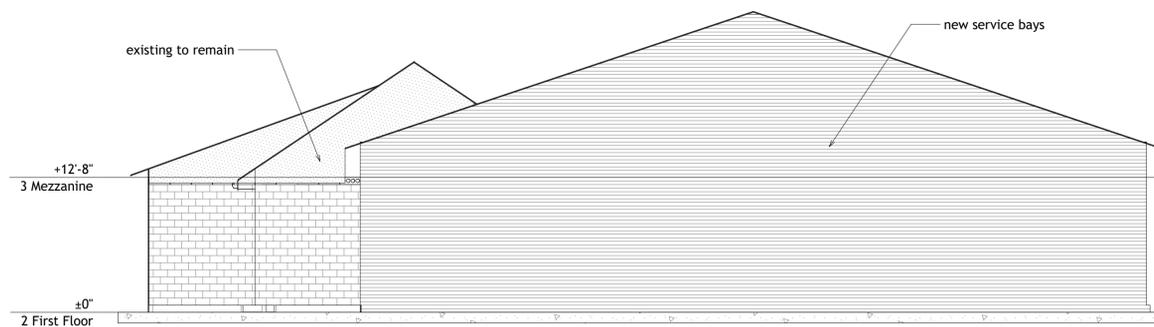
East (Right Side) Elevation

SCALE: 1/8" = 1'-0"



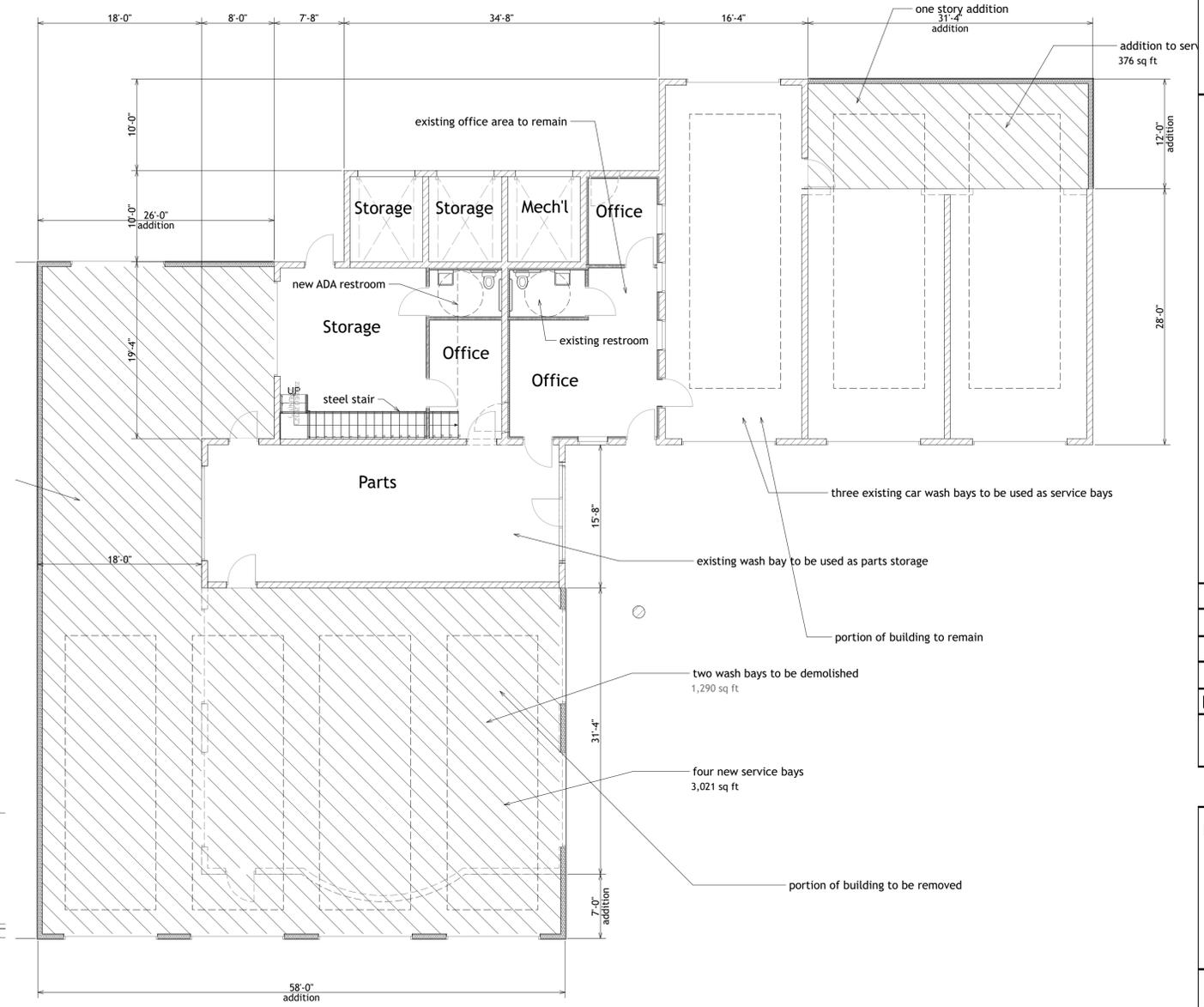
North (Rear) Elevation

SCALE: 1/8" = 1'-0"



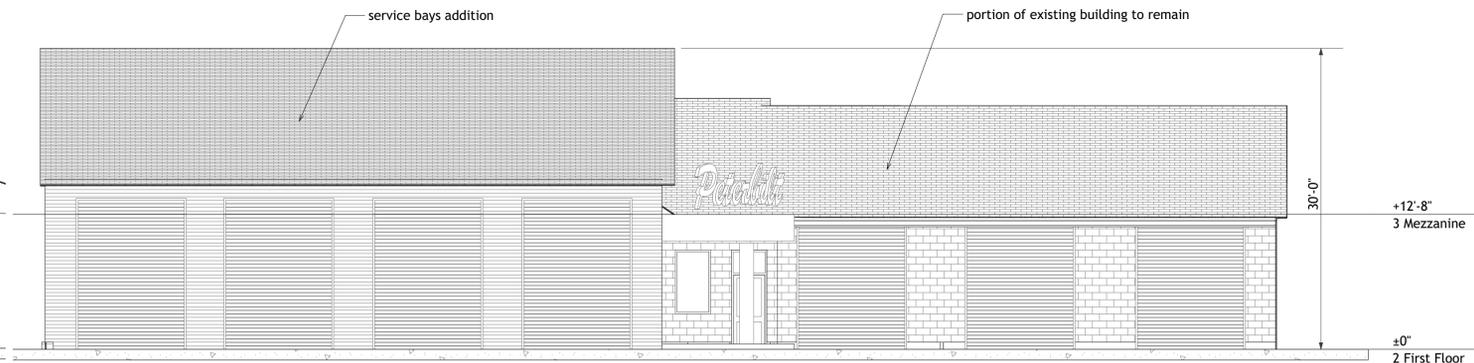
West (Left Side) Elevation

SCALE: 1/8" = 1'-0"



First Floor Plan

SCALE: 1/8" = 1'-0"



South (Facing Rt 9) Elevation

SCALE: 1/8" = 1'-0"

**JOHN J
GILCHRIST
ARCHITECT**
A Professional Corporation

1-22-26	for review	JJG
9-29-25	for review	JJG
Date	Issue	Initial

Floor Plan & Elevations

New Sales & Service Building
for
Leal Peterbilt
70 Roa Hook Road
Town of Cortlandt
Westchester County
New York
Lot 1 Block 2 Section 22.20

[Handwritten Signature]



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1/8" = 1'-0" Peterbilt
4 of 5

250311

January 21, 2026

Mr. Michael Preziosi
Director D.O.T.S
Town Hall
1 Heady Street
Cortlandt Manor, NY 10567

Re: **Dakota Concrete - Response to Comment Letter Dated August 14, 2025**

Dear Mr. Preziosi:

On behalf of the Applicant, and in connection with the above-referenced Site Plan application, we submit this correspondence in response to the comment memoranda dated August 14, 2025, issued by LaBella Associates in response to the Applicant's May 2025 submission.

All corresponding drawings and supporting materials are updated to reflect these completed revisions and are included with this submission.

Below are written responses to each of the comments in Labella's letter.

Administrative

1. *ALL plans subsequently submitted to the Town for review must be designed for construction and be complete for review by all regulatory agencies having jurisdiction (e.g. WCDOH, NYSDEC, etc.).*

Response:

All drawings are "For Construction", ready for review by jurisdictional agencies.

2. *ALL approvals must be received by regulatory agencies having jurisdiction prior to commencement of ANY construction activities.*

Response:

All required permits will be obtained prior to commencing construction.

3. *This office understands the existing on-site water supply (including meters, backflow prevention, and adequacy of pipe sizes) is under review by DOTs, and therefore comments related to the existing water facilities are excluded from this review.*

Response:

Noted

4. *Provide a copy of the 50-wide access easement.*

■ LANDSCAPE ARCHITECTURE ■ ENGINEERING ■ PLANNING, PC

Response:

Copy of the 50' wide easement has been requested.

5. *It is difficult to distinguish between what is proposed and what is existing on the plans as the linework and callouts are all bold. Please provide different line weight and callouts for existing and proposed features on the plans.*

Response:

Proposed work is highlighted on the drawings. Proposed improvements include:

Recycling Facility

1. Expanded Detention Pond.
2. Delineated Emergency Traffic Lane.
3. Updated track pad area, raised asphalt berms, and wheel wash area.
4. Concrete washout improvements at recycling facility.

Concrete Facility

5. General stormwater improvements at the concrete plant area.
6. Proposed Detention Pond.
7. Improved Raised Asphalt Berms.
8. Fire Hydrant to be made operational for fire suppression in compliance with 10 state standards.

6. *Provide verification that all water supply lines are protected with a WCDOH approved backflow prevention device and all devices shall be logged with recent inspections uploaded to <https://bsionline.com>.*

Response:

A backflow prevention device is shown on the project plans; see Drawing CLA-9A. The NYSDOH Certificate of Approval for the backflow prevention device (Log No. CC-1055, dated March 6, 1992) is included for reference.

7. *There appears to be water surfacing near the driveway to Dakota Supply Corp Masonry Yard and Dakota Recycling Services. We request this be investigated and confirmed it is not a waterline break.*

Response:

Damaged line was repaired.

8. *Provide construction compliance documentation from WCDOH for the on-site septic disposal system.*

Response:

As-built septic system drawings, approved and signed by Westchester County on September 30, 2005, are attached.

9. *Providing current NYSDEC Registration for C&D Processing.*

Response:

Part 360 Registration is provided.

Full EAF

1. *D.2.g (P6) – Will any air emission sources named in D.2.f (i.e., facility vehicles, concrete, and processing plant) require a NY State Air Registration, Air State Facility Permit, or Federal Clean Air Act Title V or Title IV Permit?*

The “Yes” box is checked off and the notation provided therein states that the “Site is currently covered under existing Air Permit.” While I assume the answer provided here refers to the County’s Certificate to Operate issued to DRS and DCS, there were no federal or state air permits found in the supplied doc.

Response:

The recycling operation is subject to state air regulations. An application for a state facility registration was submitted on July 15, 2025, approval was received on May 12, 2025. Batch concrete operations are exempt under state air regulations (201-3.2(c)(37)). No other federal or state air permits are required.

2. *D.2.i (p7) – Will the proposed action result in the release of air pollutants?*

The “Yes” box is checked off and the notation provided therein states that the “proposed action will not increase air pollutants above current levels.” Not clear what the “current levels” of “air pollutants” are. The County has listed opacity (7% not to be exceeded) as the only parameter that the DRS operations must adhere to.

Response:

The recycling facility generates particulate and combustion source air emissions. Permits have been obtained for these emissions sources. The action being undertaken for which the EAF is required (obtaining site plan approval) will not result in a change to the emissions sources or to the emissions being generated.

Plans

1. *Cover Sheet – Provide a Town signature Block.*

Response:

Town signature block added.

2. *Cover Sheet – Provide tax parcel ID number of site on the cover sheet.*

Response:

Tax parcel ID number added to cover sheet.

3. *Cover Sheet – Provide a bulk and parking tables for each individual use.*

Response:

Parking information added to drawing.

4. *Cover Sheet - Please identify the locations of school, zoning, and special district boundaries on the location map.*

Response:

Applicable school, zoning, and special districts added to drawing.

5. *Cover Sheet – Explain the meaning of Note 1 which states “All conditions of approval as noted in formal letters of approval of findings are part of the approved site plan, drawings or plans, and hereby referenced for additional approved details.”*

Response:

Note is updated to read, “All conditions of approval as noted in letters of approval or findings by departments or agencies having jurisdiction are incorporated into the approved site plans.”

6. *CLA-01 – Applicant shall clarify how their front yard and side yard setbacks were established as the shared access drive is a private road.*

Response:

Based on 2004 site plan approvals, setbacks were originally approved as follows:

50’ foot Easement – 20’ Setback
North Property Line – 20’ Setback
East Property Line – 20’ Setback

Based on meeting with the Town on December 09, 2025, the following setbacks were verified.

Albany Post Road – 40’ Front Setback
50’ foot Easement – 20’ Setback
North Property Line – 20’ Setback
East Property Line – 20’ Setback

The Applicant requests an interpretation from the Planning Board regarding the East property line setback.

7. *CLA-01 – The existing concrete block forms are located within the proposed front yard setback and the existing plant is located within the proposed side yard setback. Are there existing variances for the encroachments?*

Response:

No variances were obtained for the Concrete Facility.

8. *CLA-01 – Stockpiling activities associated with the lease area for Dakota Recycling Facilities is encroaching onto The Dakota Supply Corp. property. The stockpiles should be relocated as part of*

the project? Please add a note to the plan indicating there shall be no stockpiling of material associated with Dakota Recycling Services on the Dakota Supply Corp lease area.

Response:

Stockpiles adjusted to ensure they do not encroach onto the Dakota Supply Corp. property. Note added to drawing.

9. *CLA-01 – Identify parking areas for employees and concrete trucks.*

Response:

Employee and concrete truck parking areas added to project plans.

10. *CLA-01 - Provide details for new paved wheel wash pad, mountable berm, and hose bid.*

Response:

Wheel wash pad and mountable berm details added to drawings. The existing hose bib consists of a 5/8" hose with nozzle. Line and location of nozzle is shown on drawing CLA-9A.

11. *CLA-01 – New paved wheel wash should be shifted north away from high point.*

Response:

The paved wheel wash pad shifted north to ensure runoff from the wash area drains back into the site and not down the shared access road.

12. *CLA-01 – Depict how the new hose bib is being connected to the water supply and provide details.*

Response:

See Plans Response to Comments #10.

13. *CLA-01 – The Town of Cortlandt Zoning Code limits heights of stockpiles to 20-ft. Provide a note on the plans stating same and show regrading of stockpiles to meet the height requirements.*

Response:

Note added to plans stating stockpiles shall not exceed 20' in height. Stockpiles are regraded showing compliance with regulations.

14. *CLA-01 – Provide a detail of the inspection limit curb. A 6-inch curb (presumed) does not appear to be high enough to provide a delineation for stockpiles in excess of 25-ft. Higher alternatives should be considered, detailed, and discussed how they will be installed.*

Response:

The applicant will maintain a 4-foot area free of stockpiles and materials in front of the existing curbs and Jersey barriers. Providing a 4-foot inspection area behind the adjacent bins is not practical. To address this, the bin walls will be raised by two additional courses of block to ensure materials do not overtop the walls or migrate toward the adjacent fence and property line.

15. *CLA-01 – Clarify 4 ft minimum area between curb/property line and stockpile shall be kept clear for inspections. As the curb does not approach the property line, property line should be eliminated from the note.*

Response:

Note is revised to read, “Inspection perimeter setback to be kept clear for inspections.”

16. *CLA-01 – Confirm the composure of the emergency access drive and explain how it will provide all weather driving capabilities in accordance with Section 503.2.3 of the Fire Code of New York State.*

Response:

The current gravel access road is constructed of gravel and has a demonstrated history of supporting vehicles weighing in excess of 75,000 pounds, consistent with the requirements of the New York State Fire Code. The road has been routinely used by heavy vehicles without structural failure or operational limitations.

In addition, the access road has been utilized on a year-round basis and has consistently provided an all-weather driving surface. The road is actively maintained and cleared during periods of inclement weather, including snow and ice conditions, ensuring continuous and reliable access for emergency vehicles at all times.

17. *CLA-01- Per Table B-2 of NYSDEC the minimum horizontal separation distance between an absorption field and stormwater management practice discharging stormwater to surface water is 100 ft. The proposed detention facility is within 100-ft of the existing absorption field. A waiver from the WCDOH will be required.*

Response:

The system is approved by the WCDOH. Pond (with expansion) does not encroach on septic system. See Administrative Response to Comment #8.

18. *CLA-01 – Material stockpile on northern side of property appears to be sloping into the neighboring property.*

Response:

Facility operations will ensure that no material leaves the site. See Plans Response to Comments #8.

19. *CLA-01 – Although not required by NYSDEC, can a roof structure be provided over tanks with secondary containment dikes to prevent precipitation from entering the dikes.*

Response:

The facility chooses to manage accumulated precipitation in accordance with SPDES secondary containment requirements (see SWPPP). A roof structure is not proposed.

20. *CLA-01 – Depict location of rumble strips discussed in SWPPP for Dakota Recycling Services and Dakota Concrete Services.*

Response:

The tire wash pad for the recycling facility consists of an impermeable rumble strip. See detail on Drawing CLA-11. The concrete facility is completely paved; a rumble strip is not proposed for the concrete plant area. SWPP language has been updated.

21. *CLA-01 – Identify the chemical storage tanks behind and within Trailer 3, size of tanks, and what the chemicals consist of. Do these tanks require secondary containment?*

Response:

The storage tanks contain additives used in concrete production and are bio-degradable. They are not subject to the chemical bulk storage regulations and secondary containment is not required for the tanks. Inventory of materials can be found in the SWPPP.

22. *CLA-01 – Provide the sizes of the water main and locations and sizes of water services for the on-site facilities. It is understood the water main is being reduced from 8” down through the 4” backflow device. The design engineer of record shall also provide certification that the flow is not restricted as to impair use of onsite hydrants.*

Response:

Water lines and sizes are shown on CLA-9A & 9B. Hydrant and water lines will be in compliance with 10 State Standards.

23. *CLA-01 – Provide a detail of the existing meter pit for Town Records.*

Response:

Meter pit detail added to plans. See Drawing CLA-9A.

24. *CLA-01 – Provide the hours of operations for the two businesses on the plan.*

Response:

Hours of operation at both facilities will be 6AM to 4PM Monday – Saturday or as needed. Drawings revised per comment.

25. *CLA-02 – Provide acronyms on plan (i.e. EPSTP, EPP03.)*

Response:

The referenced labels are not acronyms. They are emission point ID numbers corresponding to the WCDOH emission point certificates to operate. Description of emission points added to drawing.

26. *CLA-03 – Provide a legend to define acronyms on plan (i.e. EPSTP, EPP03.)*

Response:

See Plans Response to Comments #25.

27. *CLA-04 – Clarify how water is provided for spray heads on Sandvik QE442 scalping screen, Sandvick QJ341 jaw crusher and closed-circuit plant. This should also be shown on Sheet CLA-01.*

Response:

Note added to the drawings indicates water for spray heads is provided using hoses that are deployed seasonally when the equipment is operating. The location of the hoses are shown on CLA-9A.

28. *CLA-05 – Clarify how water is provided for spray heads on TS80 Stacker, 36-60 Stackers 1 and 2. This should also be shown on Sheet CLA-01.*

Response:

See Plans Response to Comments #27.

29. *CLA-06 – The survey shows asphalt berms along the entire length of the concrete plant adjacent to the shared easement. CLA-6 identifies two breaks in the asphalt berms of 40-ft and 30-ft. Are these proposed? If so, how is surface runoff being directed so it does not travel onto the shared access easement?*

Response:

The project drawings show improved raised asphalt areas that direct water towards the stormwater treatment practices. See detail on Drawing CLA-11.

30. *CLA-06 – The integrity of the existing asphalt berms on north side of site appears to have deteriorated over time and in need of maintenance of reconstruction to continue to divert runoff.*

Response:

See Plans Response to Comments #29.

31. *CLA-06 – Depict the area on this plan where concrete trucks are allowed to stage.*

Response:

Drawing revised to show concrete truck staging area.

32. *CLA-06 – Is the asphalt berm and chain link fence proposed on the south side of the shared access road? Said features are not shown on the survey. If proposed, please provide details.*

Response:

Asphalt berm and fence are existing features as shown on the updated survey.

33. *CLA-06 – Plan depicts a new stormwater catch basin and hydrodynamic separator. Is the hydrodynamic separator proposed or existing? If it exists, it is not shown on the survey. If proposed, please provide construction details.*

Response:

The catch basin, pre-treatment storage basins and the hydrodynamic separator are existing features. See updated survey.

34. *CLA-08 – The plans depict trucks backing into the concrete washout. Shouldn't the trucks be backing into the waste concrete disposal area as well? The existing grading will prohibit this.*

Response:

Grading adjusted in the vicinity of the concrete washout area. The applicant is proposing to use the existing concrete washout area with modifications. See updated plans and associated details.

35. *CLA-08 - Where does the recycled water end up?*

Response:

Concrete washout water will be pumped to a frac tank, where it will be treated using a pH adjustment system and polymer drip.

Following treatment, water from the frac tank will be pumped to the existing water storage tanks and reused for dust suppression at the plant.

36. *CLA-08 – What is the size and depth of recycled wash water line?*

Response:

Not applicable with current design.

37. *CLA-08 – Where is the pump located for the recycled water?*

Response:

Pump will be located in the pump chamber. See Drawing CLA-08.

38. *CLA-08 – Provide bottom of concrete washout and disposal area elevations, top of wall elevations, and weir size and elevations. Also depict the proposed grading to accommodate the construction of the concrete washout.*

Response:

The applicant is proposing to use the existing concrete washout area with modifications. The existing washout is approximately 8' deep.

39. *CLA-08 – How do you access the bottom of concrete washout for maintenance?*

Response:

An excavator is used to dredge material out of the washout area.

40. *CLA-08 – Provide constructable details of the concrete wash pit and disposal area. The details provided are conceptual in nature.*

Response:

See Plans Response to Comments #34.

41. *CLA-09 - Clarify if the bold lines labelled "W" are intended to be new water connections or existing water connections?*

Response:

The depicted water lines are existing features.

42. *CLA-09 – Depict how the new hose bib on Sheet CLA-01 is being connected to the water supply, as well as recycled wash line and pump from Sheet CLA-08.*

Response:

There is an existing 5/8" wash hose with nozzle depicted on CLA-01. See CLA-9A for connection. Water lines and pump locations for the concrete washout area are shown on CLA-08.

43. *CLA-09 – Provide a note in the location of the sewer lateral, tri gallery subsurface sewer disposal area and septic tank indicating there shall be not storage of equipment over these components of the septic disposal system.*

Response:

Note added to drawing CLA-01.

44. *CLA-09 – How is water in the concrete pit captured and reused to wash out drums and recycled in the concrete plant? Are their piping and pumps not depicted on the utility plan?*

Response:

Wash water is not recycled within the concrete plant. Refer to the Plans Response to Comment #35 for information regarding the management of excess wash water from the concrete washout area.

45. *CLA-10 – Provide fire truck maneuvering on this plan.*

Response:

Fire truck maneuvering is provided on the plan. Typical aerial fire apparatus was used for the analysis.

46. *CLA-10 – Clarify whether approved signs, notices, or markers - indicating No PARKING – FIRE LANE will be provided to prohibit obstruction of the emergency access drive in accordance with Chapter 503.3 of the NYS Fire Code.*

Response:

Proposed signage is shown on Drawing CLA-10. The signage is in compliance with Chapter 503.3 and Appendix D103.6 of the Fire Code. Signs are proposed on both sides of the access road.

47. *CLA-10 – Confirm the composure of the emergency access drive and explain how it will provide all weather driving capabilities in accordance with Section 503.2.3 of the NYS Fire Code.*

Response:

See Plans Response to Comment #16.

48. *STR-R1 – Provide the limits of disturbance required for all site improvements proposed as part of this application.*

Response:

Majority of the site is disturbed. Updated drawings delineate the undisturbed area.

49. *STR-R1 – Provide rock outlet protection for the sediment basin pipe outlet and provide a detail with sizing calculations.*

Response:

Rock outlet protection for the sediment basin outlet is added to the drawings. See Drawing STR-R5.

50. *STR-1R – Turn on trench drains at maintenance garage.*

Response:

Trench drains are shown on the updated drawings.

51. *STR – R2 – Turn on rim and invert elevations of existing drainage structures. Label trench drains at maintenance garage.*

Response:

Trench drains are labeled, and their elevations are shown.

52. *STR-R3 – Due to the frequency of vehicles passing over the trench drains, watershed and opportunity to collect sediment/oils/ greases self-containment is not an acceptable means of management of runoff, as there exists concern the trench drains will overflow due to precipitation events without outlets, thereby impacting surface runoff. Said runoff from trench drains should be directed to a sediment/oil/water separator or hydrodynamic separator and then to detention pond. SWPPP should be updated to reflect this.*

Response:

Trench drains are connected by a buried pipe to a yard catch basin that discharges to the detention pond. Yard catch basin is equipped with an oil and floating debris trap. See detail on Drawing STR-R6.

53. *STR-R3 – Is the silt sock intended to be permanent within the forebay. If it is going to be a BMP, will there be adequate storage of the product on-site?*

Response:

The silt sock is intended to serve as a temporary measure during the reconstruction of the catch basin. The detail is revised to indicate that the silt sock is temporary.

54. *STR-R3 – The side slopes of the proposed detention basin are designed to be 2:1 (2 horizontal feet for every 1 vertical foot). Please provide a slope stability calculation to ensure the adequacy of the proposed slope under saturated conditions.*

Response:

Stability calculations for detention pond side slopes under saturated conditions are not required by the NYSDEC Stormwater Design Manual. Suitable stabilization measures will be implemented

in accordance with the NYSDEC Erosion and Sediment Control guidelines. See revised stormwater pond details.

55. *STR-R3 – Provide surface stabilization measures for the proposed 2:1 slope.*

Response:

Suitable permanent side slope stabilization measures are proposed in accordance with NYSDEC Erosion and Sediment Control guidelines. See revised stormwater pond details, STR-R6.

56. *STR-R3 – Provide construction fence around the septic disposal field.*

Response:

Construction fencing added to drawings. See Drawing CLA-11 for detail.

57. *STR-R3- Provide a cleanout elevation for sediment and a stake within detention pond for monitoring.*

Response:

Sediment stake and cleanout elevation added to the detention pond detail.

58. *STR-R3 – Specify the elevations of the ½ inch orifice. Due to the high probability of clogging the orifices, frequent maintenance will be required. Consider alternatives.*

Response:

The low flow orifice shown on Drawing STR-R3 is equipped with adequate protection as shown in the orifice protection detail, Drawing STR-R5. Elevations are shown on STR-R3.

59. *STR-R3 – Provide a rip-rap dissipator at the outlet of the 30-inch diameter CPPP.*

Response:

See Plan Response to Comment #49.

60. *STR-R3 – Provide anti-seep collars along the 30-inch CPP outlet and provide sizing per NYS Standards for Erosion and Sediment Control.*

Response:

Anti-seep collars are provided. See details on Drawing STR-R4 & R5

61. *STR-R3 – Grading of the emergency spillway weir does not match the specified elevations. Weir should extend to a flat area.*

Response:

Pond grading is adjusted to accurately represent the weir elevations.

62. *STR-R4 - Provide details of rip-rap emergency spillways, silt fence, head walls, anti-seep collars, soil stockpile, pipe trench, and specifications of the outlet control structure (i.e. psi of concrete, wall thickness, steps, etc.).*

Response:

Applicable details, associated with this project, are added to the project plans.

63. *Provide maintenance measures for erosion and sediment control measures during construction.*

Response:

Maintenance measures for temporary sediment and erosion control measures during construction are outlined in the SWPPP.

64. *STR-R4 – Provide trash rack on pond outlet per page 38 of Dakota Recycling Services SWPPP.*

Response:

Pond outlet detail is updated to include a trash rack.

65. *STR-R4 – Detail 1 indicates gate valve to remain closed until accumulated stormwater runoff is deemed acceptable to release.*

Response:

A gate valve is not shown on the detail. Gate valve notes are removed from detail.

66. *STR-C1 – Provide the location of the wheel washing pad for the Dakota Concrete Services on the plans.*

Response:

The concrete facility is 100% paved, a tire wash pad is not needed.

67. *STR-C1 – Provide the limits of disturbance required for all site improvements proposed as part of this application.*

Response:

Majority of the site is disturbed.

68. *STR-C1 – Runoff from the driveway to Dakota Supply Corp, Masonry Yard, and Dakota Recycling Services sheds onto the shared access road (50-foot easement from Peckham) way running west to and east and is not captured by the asphalt berm adjoining the concrete plant. Runoff should be captured and treated before being discharged.*

Response:

Improved raised asphalt areas are proposed to eliminate runoff into the road. Improvements to the raised asphalt areas will retain runoff on site and direct it to the treatment devices. See Plans Response to Comments #29.

69. *STR-C1 – This is evidence of vehicle tracking along the shared access road with Peckham Materials, parallel to Dakota Concrete, LLC, in which untreated runoff is flowing overland toward the train station. Address how this is being managed.*

Response:

Improvements noted in Plans Response to Comment #68 will prevent runoff into the easement roadway from the facility on the north side and from the truck staging area on the south side. Precipitation falling directly on the easement roadway and gutter runoff from the easement road further west towards Albany Road is not coming in contact with Dakota industrial activity. Dakota will be responsible for ensuring vehicles do not track sediment onto the road, however, the easement road runoff will not be intercepted or diverted from flowing towards the train station.

70. *STR-C1 – Provide the location of the wheel washing pad for the Dakota Concrete Services on the plans referencing the SWPPP.*

Response:

Tire wash is located within the recycling facility. See Plans Response to Comment #66.

71. *STR-C1 – Provide the limits of disturbance required for all site improvements proposed as part of this application.*

Response:

See Plan Response to Comment #67.

72. *STR-C1 – Provide rim and invert elevations of proposed and existing catch basins, and points of connection. Survey existing drainage structures to confirm no conflicts with design. Provide structures at all bends in culverts.*

Response:

Rim and invert elevations of proposed and existing structures and points of connection added to drawings. Structures are provided at all bends.

73. *STR-C1 - Plan depicts a new stormwater catch basin and hydrodynamic separator. Is the hydrodynamic separator proposed or existing? If it exists, it is not shown on the survey. If proposed, please provide construction details.*

Response:

The pre-treatment storage basins and the hydrodynamic separator are existing structures. The drawings are updated to clearly indicate they are existing.

74. *STR-C1 – Emergency overflow toward furnace room is not acceptable. Provide an alternative outlet control which routes stormwater around the concrete plant.*

Response:

There is no flow through the emergency spillway for the 100-year storm. 100-year storm conveyed by the riser pipe. Flow from limited contributed areas would not represent a hazard to the building.

75. *STR-C1 – Structures shall be provided at all bends of proposed stormwater culverts.*

Response:

See Plans Response to Comments #72.

76. STR-C1 – *The new detention basin is capturing areas from Dakota Recycling Services. Has this been discussed with NYSDEC and will this trigger incorporating MSGP requirements that apply to the Recycling Services for sector-specific sampling, monitoring, best mgmt., practices, and numeric and non-numeric effluent limits into the Dakota Concrete Services SWPPP.*

Response:

Runoff in this area is limited to roof and parking area runoff, and there is no industrial activity contributing to this runoff. Therefore, discussion with the DEC is not necessary, and no revisions to the NOI or additional MSGP requirements are needed.

77. STR-C2 – *The eastern side of the concrete plant detention pond slope appears to be graded into the side of a stockpile from the Peckham materials facility to the east. The side slopes of the proposed detention basin are designed to be 1:1 (1 horizontal feet for every 1 vertical foot). Please provide a slope stability calculation to ensure the adequacy of the proposed slope under saturated conditions and considering adjoining berm.*

Response:

Grading is not proposed on the east side of the basin. The basin follows existing contours of the stockpile. The stockpile is at the angle of repose; additional slope stabilization measures are not required.

78. STR-C2 – *Provide surface stabilization measures for the proposed 1:1 slope.*

Response:

See Plans Response to Comment #77.

79. STR-C2 - *Provide a cleanout elevation for sediment and a stake within detention pond for monitoring.*

Response:

Sediment stake and cleanout elevation added to the detention pond detail.

80. STR-C2 – *Although a note is provided to incorporate anti-seep collars, specify locations of the anti-seep collars along the 8-inch CPP outlet, and provide sizing per NYS Standards for Erosion and Sediment Control.*

Response:

Anti-seep collars are added to the plans. See details on Sheet STR-C3.

81. STR-C3 – *Provide copolymer steps within catch basin and specifications for permanent stabilization.*

Response:

Catch basin detail updated to include copolymer steps, See CLA-C4.

82. STR-C3 – *Filter fabric and pea gravel surrounding the lower 0.6-ft diameter orifice should be considered, similar to the outlet on the northern detention basin.*

Response:

The low flow orifice shown on STR-C3 is equipped with adequate protection as shown in the orifice protection detail. Orifice is protected with 4" CMP and wire mesh preventing passing of 1/8" solids.

83. *Site Survey – The survey should be updated to match the existing condition features, utilities, and topography on the site plans shown on Sheet CLA-01-CLA-09 and STR-R2.*

Response:

The site survey has been updated; all drawings have been revised accordingly to incorporate the updated survey information.

84. *Site Survey – Does 50- wide access easement include provisions for truck queuing and concrete plant encroachments (asphalt, drainage pipes, walls, etc.)?*

Response:

Applicant has requested deed language.

Comparison Maps prepared by CLA Site

1. *The following improvements to the concrete plant (Dakota Concrete Facility) have occurred since the approved site plan as part of Resolution No. 20-03 of the Planning Board of the Town of Cortlandt, New York dated June 3, 2003.*
 - *Concrete block form area*
 - *Trailers 1, 2,3*
 - *Storage Trailer*
 - *20,000 gallon hot water tank*
 - *Retaining walls.*
 - *Conveyor Belt*
 - *Furnace Room*
 - *The impervious areas appear to have increased from 12,000 sf based on approved plan to 31,500 sf currently. This was extrapolated from PDF.*

Response:

All facility improvements made to the concrete facility listed above were made prior to the Applicant taking over operations in July of 2023. Comparison maps have been provided to illustrate the changes that have incurred and how both Recycling and Concrete are currently operating.

Based on the approved site plan - Resolution No. 20-03, the total acreage of storage yard is 4.32. For the concrete facility, 0.57 acres is shown as material storage area with approximately 0.16 acres (6,969 sf) paved. See Figure 1 - 2003 Material Storage Yard.

As a comparison, the current storage yard for both recycling and concrete overall, including Phase 1 not part of this application, is 4.22 acres. See Figure 2 – 2025 Material Storage Yard.

The current concrete facility configuration shows the owner removed the slope and stockpile storage area from the lower concrete facility and moved all the material storage up into upper storage yard. A gravity block wall was installed to flatten and open up the lower area for more useable space for the concrete operations. Approximately 0.56 acres (24,393 sf) of additional impervious was created at that time at the concrete facility. It should be noted that the majority of paved access road at the upper storage area was never built. Reducing the total paved area overall.

2. *The operation of the recycling facility (Dakota Recycling) expanded by 8,500 sf in the northwestern portion of the lease area, as depicted on Figure 2, where there was a former parking area, depicted on the approved site plan as part of Resolution No. 20-03 of the Planning Board of the Town of Cortlandt, New York dated June 3, 2003.*

Response:

The former parking area was utilized for material storage prior to the Applicant taking over operations and continues to be used for Material Storage. This does not, however, result in an expansion of the operation. See Figure 3 Overlay of the approved site plan resolution 20-03 compared to the current material storage area. There is a slight reduction in the overall material storage yard.

3. *There is a material of material storage, labelled Phase I, which has expanded into the HC zone of Dakota Supply Corporation. This area was not delineated as storage on the approved site plan as part of Resolution No. 20-03 of the Planning Board of the Town of Cortlandt, New York dated June 3, 2003.*

Response:

Our understanding is that Phase 1 plans for Dakota Supply Corp have been submitted for site plan approval and are not part of this application. Figure 3 shows the shift in material storage area within Phase 1 from the approved site plan resolution 20-03. While some material has shifted into the HC district (approximately 13,940 sf of material storage area), there is a decrease in the overall material storage yard in Phase 1 area under the current condition.

4. *Figure 1 displays a 0.55 ac storage area identified as 2003 Material Storage Yard. This does not align with the original signed site plan approved by Resolution No. 20-03 of the Planning Board of the Town of Cortlandt, New York, dated June 3, 2003.*

Response:

Figure 1 comparison overlay illustrates that approximately 0.57 acres was utilized for the concrete material storage area under the approved site plan resolution 20-03.

Dakota Concrete Services SWPPP

1. *For the Dakota Concrete SWPPP (Section 8), was there a spill report with the DEC for the 2024 fire?*

Response:

The spill report was for firefighting foam, there was no petroleum release. Closure report by Miller Environmental Group, dated 4-28-25, was uploaded to portal.

2. *NYSDEC SPDES Multi-Sector General Permit For Stormwater Discharges Associated with Industrial Activity GP-0-23-001, Part II.D (page 14) indicates the owner or operator must consider Parts II.D.1 through Part II.D.9 when selecting and designing BMPs to minimize stormwater pollutant discharges. This Part does not require nor prescribe specific BMPs to be implemented; however, consideration of all BMPs, whether determined to be appropriate or not, must be documented in the SWPPP per Part III.A.7.*
- *How to prevent stormwater from interacting with, and contacting, pollutants and pollutant sources;*
 - *The use of BMPs in series or combination;*
 - *Assessment of the type of pollutant, the quantity and nature of the pollutant(s), and their potential to impact the water quality of receiving waters;*
 - *Opportunities to combine the dual purposes of water quality protection and local flood control benefits, including physical impacts of high flows on streams (e.g., bank erosion, impairment of aquatic habitat, etc.);*
 - *Opportunities to offset the impact of impervious areas of the facility on groundwater recharge and base flows in local streams, taking into account the potential for groundwater contamination (i.e., hotspots);*
 - *Opportunities to attenuate flow using open vegetated swales and natural depressions;*
 - *Conservation and/or restoration of the riparian buffers of streams and rivers.*
 - *The use of treatment interceptors (e.g., swirl separators and sand filters); and*
 - *Opportunities to implement enhanced BMPs for facilities that have the potential to be impacted by future physical climate risks due to major storm events, storm surge, seiche, sea-level rise and flood events pursuant to the Community Risk and Resiliency Act (CRRRA), 6 NYCRR Part 490, and associated guidance (e.g., “State Flood Risk Management Guidance” (SFRMG) and “Estimating Guideline Elevations”).*

The SWPPP should be modified to clearly document the appropriateness of the bullet items.

Response:

The SWPPP is revised to include documentation demonstrating the appropriateness of the above bulleted items based on project and regulatory requirements.

3. *Drainage Area 2 is across the access easement and is apparently used as a truck staging area. The staging of vehicles should be identified as such on the facility drawings.*

Response:

The concrete truck staging areas are shown on the revised drawings.

4. *SWPPP reference a Spill, Prevention, Control, and Countermeasure Plan, and one was not in the application package of documents. Please provide.*

Response:

A draft SPCC plan is included for review and comment.

5. *Why does the Introduction reference an objective as “no suspended, colloidal, settleable solids, or residue from sewage or industrial waste?”*

Response:

This is standard language that we include in our description of primary objectives regarding stormwater management and pollution prevention.

6. *Provide a description of the proposed improvements being made to the facility as part of this application. This shall include the total disturbance required.*

Response:

The revised SWPPP clearly describes the proposed improvements to the facility included in this application. The revised SWPPP also identifies the total area of new disturbance.

7. *Section 7.0 states that the transfer process of material delivery is not a potential source of stormwater pollutants. Please provide further clarification on this statement.*

Response:

Portland cement, silica, and slag are delivered to the facility in dry bulk tanker trucks and pneumatically transferred to the plant silos. This transfer process does not pose a potential source of stormwater pollution, as the materials remain enclosed and have no opportunity to come into contact with stormwater.

8. *The SWPPP does not specify the facility's analytical parameters and numeric/non-numeric limits but reference Section VII of the General Permit. The full text of the NYSDEC MSGP is included; is the intent to use that document to provide this information? If so, a more-specific reference is recommended to provide clear guidance to the responsible person(s) onsite.*

Response:

The facilities analytical parameters and numeric/non-numeric limits are added to the SWPPP.

9. *Maintenance of the pretreatment sediment chambers, hydrodynamic separators, and detention basin should be included in section 9.1.1 of the SWPPP*

Response:

Section 9.1.1 is revised to include the pretreatment sediment chambers, hydrodynamic separator, and detention basin.

10. *Page 29 states the Contech Hydrodynamic separator is proposed, however, elsewhere in the SWPPP it appears to be existing. Please clarify what the proposed improvements are to the site. If this structure is proposed, provide construction details and sizing calculations.*

Response:

The hydrodynamic separator is an existing structure. SWPPP narrative is revised, removing language suggesting it is proposed.

11. *Page 29 states the manufacturers inspection and maintenance requirements for the hydrodynamic separator have been provided. These do not appear to have been provided. Please include these in the SWPPP.*

Response:

Inspection and maintenance information was included in an earlier SWPPP. The material has been incorporated into the current SWPPP.

12. *Page 29 states the Contech Hydrodynamic separator has a treatment capacity of 1.5 cfs which exceeds the calculated water quality treatment flowrate of 1.21 cfs for the combined Drainage Areas DA-1 and DA-2. Appendix F excludes subcatchments DA-1 and DA-2. Please provide.*

Response:

The CLA Site SWPPP hydraulic and hydrology analysis addresses only the proposed sediment basin. Hydraulics and hydrology for the existing hydrodynamic separator were documented in a previous SWPPP. A copy of that earlier SWPPP has been included with the application materials.

13. *Page 30 indicates the design components of the on-site detention pond such as 4H:1V side slopes, aquatic bench, accessible for maintenance. This information is not depicted on the plans. Update the plan set or modify the text of the document.*

Response:

Design components, not related to this project, are deleted from the SWPPP text.

14. *Page 30 refers to sediment basin forebays. This appears to apply to the recycling center detention basin. There are other references throughout the SWPPP that appear to apply to the Recycling Facility SWPPP. Revise the SWPPP to only include required elements for the Concrete plant. If any elements are located on the Recycling Facility, this should be clearly identified in the SWPPP.*

Response:

The SWPPP is updated to include only those elements applicable to the concrete plant. It is also revised to clearly state that the concrete washout area is located within the recycling facility. Additionally, an Overall Site Plan (CLA-01) is added to the SWPPP to show the concrete washout area within the recycling facility.

15. *Sample events will also need the Storm Event Data form completed with each sample and should also be used for when the quarterly visual monitoring accompanies a storm event.*

Response:

The SWPPP states the Storm Water Event Data Form is required for each DMR sample in addition to the Quarterly Visual Monitoring Inspections. The Storm Event Data Form is included in Appendix E.

16. *Revise paragraph 3 on page 37 to include the 100-year storm.*

Response:

Paragraph 3 updated to include the 100-year rain event.

17. *Appendix E – Provide inspections and maintenance requirements for post development best management practices.*

Response:

Inspection and maintenance requirements for the pond, catch basin, and culverts are added to Appendix E.

18. *The SWPPP should be revised to include provisions to delay delivery of raw materials when a major storm event is expected within 48-hours.*

Response:

The SWPPP includes provisions delaying delivery of raw materials when a major storm is expected, See Section 9.3.

19. *Provide a discussion on the existing pre-treatment chambers and how they were previously sized.*

Response:

Sizing of the pre-treatment chambers was included in a previous SWPPP. A copy of the earlier SWPPP is included for reference.

Dakota Recycling Services Montrose Facility SWPPP For Multi Sector Permit

1. *SWPPP is being defined as SIC 5093 // SIC Description – Scrap and Waste Materials (N3). The MSGP description of that code is “Scrap Recycling Facilities, Including Transfer Stations Accepting Household Recyclables.”, These facilities are typically metal scrap and auto recycling; the SWPPP specifically indicates they don’t take glass or metal.*

The Applicant receive clean construction demolition materials consisting of rock, concrete, asphalt pavement millings and aggregate and appear to generate materials from these onsite (incl. Custom Blended Aggregate, Crushed Stone, Wall Stone, Light Stone Fill, Medium Stone Fill, Tracking Pad Stone, Brownfield Fill, Pipe Backfill, Recycled Aggregate, and Recycled Concrete Sub-base). Based on this, the designation doesn’t seem to match the site use. Is it possible this should also be Sector E (if they produce stone materials and materials for the Concrete Services facility).

This office recommends the facility use be reviewed against MSGP Sector E with NYSDEC and other sector definitions to ID an appropriate category, so no misconstrued uses take place on site.

Response:

We have permitted several construction and demolition recycling centers, which the DEC classifies under SIC Code 5093-N3.

2. *NYSDEC SPDES Multi-Sector General Permit For Stormwater Discharges Associated with Industrial Activity GP-0-23-001, Part II.D (page 14) indicates the owner or operator must consider Parts II.D.1 through Part II.D.9 when selecting and designing BMPs to minimize stormwater pollutant discharges. This Part does not require nor prescribe specific BMPs to be implemented; however, consideration of all BMPs, whether determined to be appropriate or not, must be documented in the SWPPP per Part III.A.7.*

- *How to prevent stormwater from interacting with, and contacting, pollutants and pollutant sources;*
- *The use of BMPs in series or combination;*

- *Assessment of the type of pollutant, the quantity and nature of the pollutant(s), and their potential to impact the water quality of receiving waters;*
- *Opportunities to combine the dual purposes of water quality protection and local flood control benefits, including physical impacts of high flows on streams (e.g., bank erosion, impairment of aquatic habitat, etc.);*
- *Opportunities to offset the impact of impervious areas of the facility on groundwater recharge and base flows in local streams, taking into account the potential for groundwater contamination (i.e., hotspots);*
- *Opportunities to attenuate flow using open vegetated swales and natural depressions;*
- *Conservation and/or restoration of the riparian buffers of streams and rivers.*
- *The use of treatment interceptors (e.g., swirl separators and sand filters); and*
- *Opportunities to implement enhanced BMPs for facilities that have the potential to be impacted by future physical climate risks due to major storm events, storm surge, seiche, sea-level rise and flood events pursuant to the Community Risk and Resiliency Act (CRRRA), 6 NYCRR Part 490, and associated guidance (e.g., “State Flood Risk Management Guidance” (SFRMG) and “Estimating Guideline Elevations”).*

The SWPP should be modified to clearly document the appropriateness of the bullet items.

Response:

The SWPPP is revised to include documentation demonstrating whether the above bulleted items are appropriate or inappropriate based on project and regulatory requirements.

3. *Per the Site Plans and STR-R1, Dakota Supply Corp, is included in the watershed associated with Dakota Recycling Services. Will Dakota Supply Corp require inclusion under this MSGP?*

Response:

Separate NOIs were submitted to obtain coverage for each facility.

4. *Why does the Introduction reference an objective as “no suspended, colloidal, settleable solids, or residue from sewage or industrial waste?”*

Response:

This is standard language that we include in our description of primary objectives regarding stormwater management and pollution prevention.

5. *Provide a description of the proposed improvements being made to the facility as part of this application. This should include the total disturbance required.*

Response:

The revised SWPPP clearly describes the proposed improvements to the facility included in this application. The revised SWPPP also identifies the total area of disturbance.

6. *Section 6.0 indicates wall stone is produced on-site.*

Response:

Section 6.0 is updated to show that the facility does not produce wall stone.

7. *Section 7.5 states that the concrete plant uses a pit in front of the maintenance building to wash out the drums of the concrete trucks. The Dakota Concrete Services SWPPP identified this as supplemental to the washout pit at the concrete plant. This SWPPP should be revised to indicate this as well.*

Response:

Section 7.5 is updated and states the washout pit adjacent to the maintenance garage is supplemental to the pit at the concrete facility.

8. *Self-containment of trench drains are not acceptable as previously mentioned herein. Please update the SWPPP accordingly.*

Response:

The trench drains are connected by buried piping to a yard catch basin, which discharges to the detention pond.

9. *Page 10 of the SWPPP indicates Dakota Concrete Services is outside of the drainage catchment associated with Dakota Recycling Facility. However the Product Bins area associated with Dakota Concrete Services is tributary to the watershed for the Dakota Recycling Service. Given these are concrete products, NYSDEC should opine as to whether the Recycling Service SWPPP also include Sector E?*

Response:

Stockpiles consist of raw aggregate materials similar to those produced at the recycling facility; therefore, Sector E does not apply to the recycling facility.

10. *The SWPPP does not specify the facility's analytical parameters and numeric/non-numeric limits but reference Section VII of the General Permit. The full text of the NYSDEC MSGP is included; is the intent to use that document to provide this information? If so, a more-specific reference is recommended to provide clear guidance to the responsible person(s) onsite.*

Response:

The facilities analytical parameters and numeric/non-numeric limits added to the SWPPP.

11. *Section 7 refers to the C&D facility for potential pollutant sources; the sources appear to be for the Concrete facility. Please clarify.*

Response:

The potential pollutant sources listed in Section 7 are accurate. Note that the concrete truck washout area identified is located across from the maintenance garage. This washout area, which is within the recycling facility, is supplemental to the concrete facility, and is designated for washing out concrete truck drums.

12. *SWPPP reference a Spill, Prevention, Control, and Countermeasure Plan, and one was not in the application package of documents. Please provide.*

Response:

A draft SPCC plan is included for review and comment.

13. *Include the detention basin and its features in section 9.1.1 of the SWPPP.*

Response:

Section 9.1.1 is revised to include the detention basin.

14. *Where does the secondary containment drainage system reference in section 9.1.1 discharge to?*

Response:

The secondary containment for Tanks 4 and 5 is located within a drainage area that is incorporated into the Concrete Plant SWPPP. Accordingly, Section 9.1.1 is revised to remove the discussion regarding diked secondary containment.

15. *Section 9.1.1 – Please include an explanation of Tank 10 within Section 9.1.1 Bulk Storage Secondary Containment.*

Response:

The tank formally identified as Tank 10 is a mobile tank (New ID of Mobile Tank A) and is not required to be included on the facility's tank registration. The Tank 10 now refers to a 1,000 gal. diesel tank located on the Dakota Supply Corp. property. The 1,000 gal. tank has been added to the Westchester County PBS registration. Section 9.1.1 is updated to include a discussion of Mobile Tank A.

16. *Page 30 references extended detention. Is extended detention being provided?*

Response:

Permanent pool, included in the pond design, and temporary storage of 1 year storm provides extended detention.

17. *Revise paragraph 3 on page 37 to include the 100-year storm.*

Response:

Paragraph 3 is updated to include the 100-year rain event.

18. *SWPPP has a concrete washout plan, for the benefit of Dakota Concrete Services facility? Has NYSDEC opined on additional site stormwater testing?*

Response:

The improved concrete wash system is a self-contained closed system; water will be treated prior to being used in the processing plant for dust suppression. There is no discharge of untreated wash water. DEC coordination and additional testing is not required.

19. *Sample events will also need the Storm Event Data form completed with each sample and should also be used for when the quarterly visual monitoring accompanies a storm event.*

Response:

The SWPPP is updated stating that the Storm Water Event Data Form is required for each DMR sample in addition to the Quarterly Visual Monitoring Inspections. The Storm Event Data Form has been added to Appendix E.

20. *Section 10.3 of the SWPPP indicates the detention pond has been modeled and able to intercept and filter the design storms analyzed without overtopping and accommodates the water quality volume for the 90% rainfall event. Please explain how the runoff is filtered, and the water quality volume is accommodated.*

Response:

Water is not filtered; instead, water quality is provided through a permanent pool and extended detention in accordance with NYSDEC design manual criteria.

21. *The SWPPP should be revised to include provisions to delay delivery of raw materials when a major storm event is expected within 48 hours*

Response:

The SWPPP includes provisions delaying delivery of raw materials when a major storm is expected, See Section 9.3.

22. *Appendix E – Provide inspections and maintenance requirements for post development best management practices.*

Response:

Inspection and maintenance requirements are added to Appendix E of the SWPPP.

23. *Although the Multi Sector SPDES Permit may not require attenuation of runoff, the Town requires a pre-development analysis to confirm there is no increase in runoff being discharged off-site due to the improvements.*

Response:

The site is an existing recycling facility that has been in operation for 15 years, there are no substantial improvements planned. Additionally, impervious cover will not increase as a result of this project. Because there is no change in impervious area or hydrology, a pre- and post-development analysis is not required for this facility.

24. *Provide sizing for outlet protection of 30-inch CPP based upon 25-year design storm.*

Response:

The 30" CPP pipe is sized based on the 100-year storm event. See detail on Drawing STR-R5.

Bulk Storage

1. *There are ten (10) ASTs ranging in size from 250 to 2,000 gallons in size. Registration renewal paperwork has been submitted, and they are awaiting a response from WCDOH. Please provide a response from WCDOH.*

Response:

The current WCDOH PBS Certificate, issued June 20, 2025 and expiring April 4, 2027, is attached.

2. *The facility type is listed as "Manufacturing.", Why wasn't it listed as 99 "Other" with a description of the concrete recycling*

Response:

The PBS registration covers both facilities. Facility type does not affect regulation of the tanks.

3. *The fuel type in Tank #2 is listed as gasoline or "0009". Does it contain ethanol? If so, it should be listed as Gasoline/Ethanol or "2712."*

Response:

Tank 2 does not contain ethanol.

4. *Tanks 7, 8, and 9 are located within the maintenance garage and the building itself is listed as secondary containment. The concrete floors would act as leak detection, but not necessarily containment. Are there floor drains or other structures which could potentially convey spilled fuel to the subsurface?*

Response:

There are no floor drains inside the building. Improvements for secondary containment for Tanks 7, 8 and 9 are proposed as part of this project to be in compliance with SPCC and New York State PBS regulations.

5. *Tank 6 is located within the furnace room? Are there floor drains or other structures which could potentially convey spilled fuel to the subsurface?*

Response:

Tank 6 is located where the Furnace Building once stood. The tank is a double wall tank (integral secondary containment) with spill and overflow appurtenances. The tank sits on a compacted gravel pad.

6. *06 NYCRR Part 614, subpart 4 and as listed in DER-25, PBS Inspection Handbook indicates the following:*

E. Secondary Containment for Tanks Less Than 10,000 Gallons

Any AST with a capacity of less than 10,000 gallons that is in close proximity to waterbodies of the State is required to either have secondary containment or utilize a design/technology such that a discharge is not reasonably expected to occur. Facilities within 500 horizontal feet of the following resources are considered to be in close proximity to ground or surface waters:

- *Perennial or intermittent stream;*
- *Public or private well;*
- *Primary or principal aquifer as defined in USGS Water Resource Investigation Reports 87-4274, 87-4275, 87-4276, 87-4122, 88-4076, and Appendix C;*
- *Wetlands as defined in 6 NYCRR Part 664;*

- *Lake/pond, estuary, etc.; or*
- *Storm drain.*

For tanks that are within 500 horizontal feet of the above resources, DEC requires that a storage tank and its associated equipment be designed to prevent discharges from occurring or that a dike system be installed to prevent such discharges from reaching the environment. Discharges from a tank system may occur due to:

- *Overfills from the fill port, vent and/or emergency vent;*
- *Spills at the fill port from the delivery hose;*
- *Leaks from valves, pumps or other connections to the tank;*
- *Flow from valves left open either by accident or by vandals;*
- *Vehicular traffic that could contact the tank and cause it to rupture;*
- *Flooding and flotation;*
- *Fires around the tank that could cause the tank to weaken, rupture or overflow; and*
- *Vandalism with ballistics.*

Tanks 1, 2, 3, 6, 7, 8, and 9 are all within 500-ft of the wetland located on the adjacent property along northeastern boundary of the property.

Tanks 1, 2, 3, 6, 7, 8, and 9 are located less than 100-ft to proposed detention ponds.

Please provide a letter from the WCDOH indicating these specific tanks do not require secondary containment or utilize a design/technology such that a discharge is not reasonably expected to occur, due to the proximity to the off-site wetland and on-site storm drains.

Response:

The outdoor tanks are fully compliant with the SPCC regulations regarding secondary containment, spill and overfill protection, and the corresponding DEC Part 613 regulations including protection from vehicular traffic (bollards, gravity blocks or other means of separation) and vandalism (site security is provided by locked gates during non-operating hours). Improvements for secondary containment for Tanks 7, 8 and 9 are proposed as part of this project to conform to SPCC and New York State PBS regulations. A draft SPCC plan is included with this submittal for review and comment.

Air Permitting

1. *The cover letter from the Westchester County Health Department (dated 5/12/2025) regarding new permits issued for DRS makes a reference to a total of 26 emission points for which the Permit Numbers 52-10124 through 52-10149 are assigned. The only air permit provided for review was Permit Number 52-10124, issued for emission point EPJ01. Permit Numbers 52-10125 through 52-10149 are missing. Please provide.*

Response:

Emission Point Certificates to Operate for all of the emission points are included with this submittal.

- 2. The cover letter also makes a reference to “emission limits” not to be exceeded as a result of the applicant’s activities (re: DRS). It is unclear what the “emission limits” are, as the letter does not provide any reference in that regard. The letter further states that the applicant’s activities shall not “contravene” the applicable provisions of State and County Air Pollution Control Regulations. Again, without citing or providing any specific Part(s) or Subpart(s) of the state or county air regulations, it is unclear what the specific compliance requirements might be. Please clarify.*

Response:

WCDOH air permits typically include applicable limits in the Emission Point Certificate to Operate (CO) issued by WCDOH (Appendix A of each CO) and the CO subjects the emission points to applicable requirements in the County and State air regulations. Emission Point Certificates are attached for all of the emission points.

- 3. In reviewing the County’s Sanitary Codes, Section 873.1326, Article XIII (“Air quality; Standards”) states that in determining compliance with the provisions of the codes, the County Health Department may be guided by the provisions of Chapter III of the NYSDEC air regulations or by local municipality. No specific citation(s) of reference to either the state regs or local municipality ordinances is provided. Please clarify.*

Response:

Application for State Facility Air Registration has been submitted for the recycling facility. Concrete batching is exempt from State air regulations.

- 4. Condition 1 - DRS Certificate to Operate (Permit Number: 52-10124) - states that the source shall be operated in compliance with the provisions of the County Health Department’s laws (Chapter 873, Article XIII) and the air pollution control regulations contained in 6NYCRR of the State of New York. This is a general statement (and quite vague) as it does not provide any specific reference to any applicable provisions. (NYSDEC air regulations are contained in 6NYCRR, Chapter III, and covers Parts 200 through 257.) Please clarify.*

Response:

The facility demonstrated compliance with the applicable regulations to the satisfaction of the WCDOH in order to obtain the Certificates to Operate. The facility will operate the permitted equipment in accordance with the Certificates to Operate and applicable regulations.

- 5. It should be noted that the only emission limit mentioned in the DRS Permit issued by the County is the opacity limit for airborne dust (as fugitive emissions) from loading the crusher hopper by excavator, which is set at a max. of 7%. Section 873.1311 and Section 873.1312 of the County Sanitary Codes limit the opacity from any air contamination source to a max. of 20%, as determined by a trained certified observer using the USEPA Reference Method 9.*

Response:

Noted, opacity is the only applicable limit.

- 6. Condition 5 - DRS Certificate to Operate (Permit Number: 52-10124) – makes a reference to an “attached Appendix A,” that is missing/not found. Condition 5 specifically states that “the emission from this source of air contamination shall not exceed those set forth on the attached Appendix A.” Please provide Appendix A.*

Response:

Appendix A refers to a one-page appendix attached to each individual permit Emission Point Certificate to Operate that lists the permitted contaminants and associated emission limits. A complete set of certificates are attached.

Please note CLA SITE, in conjunction with the Applicant and Zarin & Stienmetz, are working to comply with the Town as expeditiously as possible. Please contact me if you require any clarification or additional information.

Best Regards,

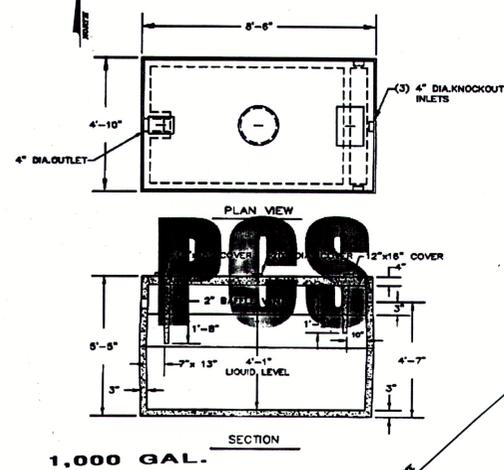
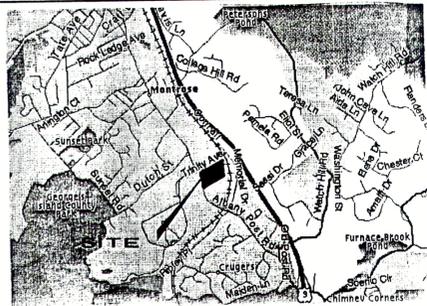
A handwritten signature in purple ink, appearing to read "Peter Loyola". The signature is fluid and cursive, with a large initial "P" and "L".

Peter Loyola, ASLA
Principal

CC:

Lands Now Or Formerly Of Berens

#2 Distribution Box



NOTES: CONCRETE TO TEST 4000 PSI AT 28 DAYS... STEEL REINFORCEMENT #4 @ 10 GAL. W.W.M. CONSTRUCTION JOINTS SEALED WITH ASPHALT CEMENT OR EQUIVALENT.

200' Radius - No Wells or SSDA's

This Area Filled With A Max. 2.5' of Run-Of-Bank Sand and Gravel Remove Topsoil Before Placing Fill

100% Expansion Area

Primary Septic Area 2-33.5' L.F. Precast Conc. Tri-Galley With 4" Perf. PVC

1,000 Gal. Septic Tank

Cleanout Inv. Out 75.0

PROPOSED 50' x 125' MAINTENANCE GARAGE

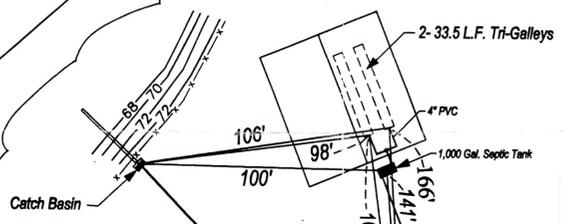
PECKHAM MATERIALS ASPHALT PLANT

LOADING RAMP

STORAGE

ABANDONED STRUCTURE

OFFICE



Tie-Down Sketch NTS

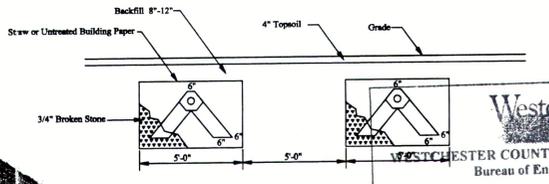
50' x 125' MAINTENANCE GARAGE FF Elev. = 78.0

ALBANY POST ROAD

LOT 16

Exist. 8" Water Main

Existing 5" Chain Link Fence

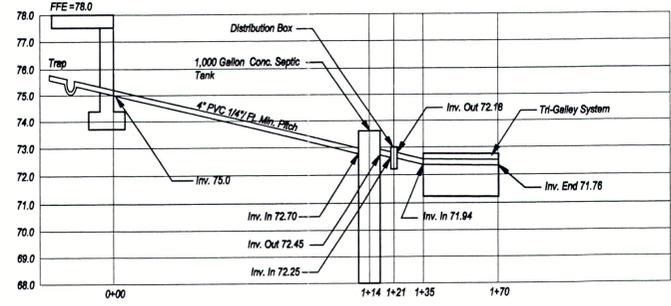


Westchester County Department of Health Bureau of Environmental Quality PERMIT NUMBER: C2004-4

Reviewed by: [Signature] Date: 9/30/04 Accepted by: [Signature] Date: 9/30/04

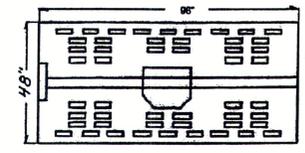
SEPTIC PLAN FOR PROPOSED MAINTENANCE GARGE FOR BILOTTA REALTY OF WESTCHESTER 177 ALBANY POST ROAD TOWN OF CORTLANDT, NEW YORK

Scale: AS SHOWN Date: October 27, 2004 "AS - BUILT" 9-6-2005



CENTERLINE SYSTEM PROFILE

Scale: Horizontal 1" = 40' Vertical 1" = 3'



2796 CONCRETE TRI-GALLEY NTS

LEGEND

- 70- Indicates Existing Contours
-72- Indicates Proposed Contours
● Indicates Percolation Holes
■ Indicates Deep Test Holes

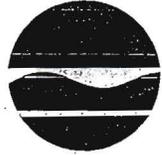
- 1. ALL WORK SHALL CONFORM TO THE CURRENT SANITARY CODE OF THE WESTCHESTER COUNTY HEALTH DEPARTMENT (WCHD)...
2. ONLY A CONTRACTOR LICENSED BY THE WCHD IS ALLOWED TO INSTALL THE SEPTIC SYSTEM SHOWN HEREON...
3. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THE ENTIRE SEPTIC SYSTEM FLOWS BY GRAVITY...
4. THE CONTRACTOR SHALL INSTALL A 1,000 GALLON PRE-CAST CONCRETE SEPTIC TANK AND DISTRIBUTION BOX AS MANUFACTURED BY "FORT MILLER CO." OR AS APPROVED EQUAL BY THE WCHD...
5. THE AREAS DELINEATED FOR DISPOSAL FIELDS AND EXPANSION AREAS SHALL BE MARKED OUT AND NO HEAVY EQUIPMENT SHALL BE PERMITTED IN THESE AREAS...
6. PIPING: BUILDING TO TANK & TANK TO FIELDS, SHALL BE SCHEDULE 40 PVC MEETING A.S.T.M. 2685. LATERALS SHALL BE PVC MEETING A.S.T.M. D2729...
7. THERE SHALL BE NO CHANGES ON THESE PLANS IN ADVANCE OF, OR DURING CONSTRUCTION, WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER, AND THE WCHD...
8. NO VEHICULAR PARKING OR TRAFFIC SHALL BE ALLOWED ON ANY PORTION OF THE SEPTIC SYSTEM...
9. NO ROOF, FOOTING, FLOOR, COOLING WATER, ETC. SHALL BE CONNECTED TO THE SEPTIC SYSTEM...
10. PRIOR TO THE START OF CONSTRUCTION OF THE SEPTIC SYSTEM, A PERMIT TO CONSTRUCT MUST BE OBTAINED FROM THE WCHD...
11. INSPECTION OF THE APPLICABLE SEPTIC SYSTEM COMPONENTS SHALL BE CONDUCTED BY A WCHD REPRESENTATIVE AND THE DESIGN ENGINEER...
12. AN "AS-BUILT" PLAN WITH "TIE DISTANCES" MUST BE FURNISHED BY THE DESIGN ENGINEER...
13. ALL PIPING AND APPURTANANCES SHALL BE APPROPRIATELY SUPPORTED AND INSTALLED IN A MANNER WHICH ALLOWS FOR EXPECTED EXPANSION AND CONTRACTION UNDER ANTICIPATED CONDITIONS.

DISPOSAL FIELD DESIGN CALCULATIONS
Stabilized Percolation Rate: 21-30 min./inch (Original Ground Percolation Rate)
Sewage Application Rate: 0.6 gpd/s.f.
Design Daily Flow = 200 gpd
Trench Width = 5.0 feet = 5.0 s.f./ft.
Trench Length = 200 gpd = 333 s.f. 333 s.f. = 67 ft. USE 70 feet
0.6 gpd/s.f. 5 s.f./ft.

ANY ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209, ARTICLE 145, OF THE NEW YORK STATE EDUCATION LAW

New York State Department of Environmental Conservation

Division of Materials Management, Region 3
21 South Putt Corners Rd., New Paltz, NY 12561-1696
Telephone: (845) 256 3134 Fax: (845) 255-3414



Joe Martens
Commissioner

January 3, 2012

Jay Bilotta
Dakota Supply Corp.
107 Albany Post Road
Montrose NY 10548

RE:60W27 DAKOTA SUPPLY CORP., 170 ALBANY POST ROAD, MONTROSE

Dear Mr. Bilotta,

Enclosed is a validated copy of your registration form which was submitted to the Department pursuant to 6NYCRR Part 360, effective November 26, 1996. One copy of this form must be maintained at this facility.

You are reminded that Part 360 contains General Provisions (Subpart 1) and C&D Processing Facilities (Subpart 16) requirements that must be followed to warrant your facility's continued status as a registered facility. This registration does not preclude your facility from adhering to all other applicable federal, state and local requirements.

If you have any questions regarding this matter, please do not hesitate to call me at (845) 256-3134.

Sincerely,

A handwritten signature in cursive script that reads "Lee E. Reiff".

Lee E. Reiff
Region 3, Division of Materials Management

cc: L. Vitrone, Deputy Commissioner, Westchester County Department of Environmental Facilities
T. Laibach



REGISTRATION FORM FOR A
 SOLID WASTE MANAGEMENT FACILITY

Please read and follow all instructions before
 completing this registration form

DEC REGISTRATION # 60W27
 DEC ADMINISTRATION # _____
 DATE RECEIVED 11/30/11

PLEASE TYPE OR PRINT CLEARLY

THIS IS NOT AN UPA PERMIT

1. FACILITY NAME AND LOCATION <u>Dakota Supply Corp</u>		2. FACILITY OWNER'S NAME <u>Bilotta Realty of Westchester Inc.</u>	
Street <u>167 Albany Post Road</u>		Mailing Address <u>167 Albany Post Road</u>	
City/Village _____		City/Town/Village <u>Montrose</u>	
Town <u>Montrose</u> County <u>Westchester</u>		State/Zip Code <u>New York / 10548</u>	
Telephone Number <u>(914) 737-8756</u>		Telephone Number <u>(914) 737-8756</u>	
3. FACILITY OPERATOR'S NAME (if different)		4. SITE OWNER'S NAME (if different)	
Mailing Address _____		Mailing Address _____	
City/Town/Village _____		City/Town/Village _____	
State/Zip Code _____		State/Zip Code _____	
Telephone Number _____		Telephone Number _____	
5. TYPE OF FACILITY REGISTRATION (check all applicable)			
<input type="checkbox"/> Energy Recovery Incinerators or Pyrolysis Units [360-3.1(c)] <input type="checkbox"/> Land Clearing Debris Landfills three acres or less [360-7.2(a)] <input type="checkbox"/> Transfer Stations (municipally owned/operated/contracted) receiving less than 50,000 cubic yards or 12,500 tons of household solid waste annually [360-11.1(b)(i)] <input type="checkbox"/> Transfer Stations (municipally owned/operated/contracted) receiving less than 50,000 cubic yards or 12,500 tons of containerized solid waste annually [360-11.1(b)(2)] <input type="checkbox"/> Source Separated, Nonputrescible Solid Waste Recyclables Handling and Recovery Facilities [360-12.1(d)] <input type="checkbox"/> Waste Tire Retreaders [360-13.1(d)(1)(i)]		<input type="checkbox"/> Waste Tire Stored for On-site Energy Recovery [360-13.1(d)(1)(ii)] <input type="checkbox"/> Tire Dealers Selling Waste Tires [360-13.1(d)(1)(iii)] <input type="checkbox"/> Tire Manufacturing Facilities [360-13.1(d)(1)(iv)] <input checked="" type="checkbox"/> Processing Facilities Receiving Only Recognizable Uncontaminated Concrete, Asphalt Pavement, Brick, Soil or Rock [360-16.1(d)(1)(i)] <input type="checkbox"/> Uncontaminated Unadulterated Wood Processing Facilities [360-16.1(d)(1)(ii)] <input type="checkbox"/> Other Facilities not specifically described above, specify type _____	
6. SOLID WASTE HANDLED		7. OPERATIONS SCHEDULE - Normal schedule of operation	
a. List wastes and/or materials to be accepted <u>Clean soil, rock, concrete and asphalt pavement and sidewalk.</u>		<u>8 AM - 5 PM Monday - Friday</u>	
b. Quantity (specify Units - see instructions) design capacity <u>250 cu. yds material handled daily</u> storage on site <u>12,000 cu. yds</u>		8. NAME(S) OF ALL MUNICIPALITIES SERVED <u>IN</u> <u>Westchester; Putnam Counties</u>	
9. CERTIFICATION: I hereby affirm under penalty of perjury that information provided on this form and attached statements and exhibits was prepared by me or under my supervision and direction and is true to the best of my knowledge and belief, and that I have the authority as <u>Vice President</u> (title) of <u>Dakota Supply Corp</u> (Entity) to sign this registration form pursuant to 6 NYCRR Part 360. By signing this registration form, I affirm that I have read the applicable regulations and will abide by all conditions of the registration requirements. I am aware that any false statement made herein is punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law.			
Printed/Typed Name <u>Jay Bilotta</u>		Signature	Mo. Day Year <u>11</u> <u>28</u> <u>11</u>

Instructions for Completion of a
REGISTRATION FORM FOR A SOLID WASTE MANAGEMENT FACILITY

GENERAL

This registration form is prescribed by the New York State Department of Environmental Conservation (DEC) for solid waste management facilities pursuant to the requirements of 6 NYCRR Part 360. Make every effort to enter the information requested in the spaces provided on this form, but attach additional sheets where space prohibits full and complete answers. For the purposes of this form, the term "facility" shall mean "solid waste management facility."

The owner or operator must sign this registration form and must submit the completed registration form to the Regional Solid & Hazardous Materials Engineer for the DEC region in which the facility is located or is proposed to be located. This form must be submitted at least 30 days prior to undertaking the activity proposed for registration.

ITEM NUMBER

1. Enter the name and address of the facility. Attach a United States Geological Survey Topographic Map, or a commercially available map of similar scale showing the exact location of the facility.
2. Identify the entity or person who owns the facility.
3. Identify the entity or person responsible for the overall management and operation of the facility.
4. Identify the entity or person who owns the site on which the facility is situated, or who will own the site on which the proposed facility will be situated, if different than the current facility owner.
5. Check all the appropriate boxes that describe the facility that is the subject of this registration.
6.
 - a. Enter the specific types of wastes to be accepted at the facility.
 - b. Facility design and storage capacities shall be indicated in units appropriate to the type of Registration Facility (i.e., tire manufacturing facilities to indicate number of waste tires).
7. Indicate the normal schedule of facility operation (i.e., Monday - Saturday, 9:00 a.m. to 5:00 p.m., closed Sunday).
8. Enter the name of all municipalities (counties, cities, towns and/or villages) in the existing and/or proposed service area of the facility.
9. The certification block must be completed by the registrant.
10. Registrant retain Copy #4 and submit remaining copies to appropriate Regional Solid & Hazardous Materials Engineer.

REGIONAL SOLID & HAZARDOUS MATERIALS ENGINEERS
NAMES AND ADDRESSES

Regional Solid & Hazardous Materials Engineer NYSDEC - Region 1 SUNY Campus Loop Road, Building 40 Stony Brook, NY 11790-2356 (631) 444-0375	Regional Solid & Hazardous Materials Engineer NYSDEC - Region 2 1 Hunters Point Plaza 47-40 21st Street Long Island City, NY 11101-5407 (718) 482-4996	Regional Solid & Hazardous Materials Engineer NYSDEC - Region 3 21 South Putt Corners Road New Paltz, NY 12561-1695 (845) 256-3137
Regional Solid & Hazardous Materials Engineer NYSDEC - Region 4 1150 North Westcott Road Schenectady, NY 12306-2014 (518) 357-2346	Regional Solid & Hazardous Materials Engineer NYSDEC - Region 5 Route 86 - P.O. Box 296 Ray Brook, NY 12977-0296 (518) 897-1241	Regional Solid & Hazardous Materials Engineer NYSDEC - Region 6 State Office Building 317 Washington Street Watertown, NY 13601-3787 (315) 785-2513
Regional Solid & Hazardous Materials Engineer NYSDEC - Region 7 615 Erie Blvd. West Syracuse, NY 13204-2400 (315) 426-7419	Regional Solid & Hazardous Materials Engineer NYSDEC - Region 8 6274 East Avon-Lima Road Avon, NY 14414-9519 (716) 226-2466	Regional Solid & Hazardous Materials Engineer NYSDEC - Region 9 270 Michigan Avenue Buffalo, NY 14203-2999 (716) 851-7220

PETROLEUM BULK STORAGE/GASOLINE DISPENSING SITES REGISTRATION CERTIFICATE

<p>Site: Dakota Supply Corp. 2099 Albany Post Road Montrose, NY 10548</p> <p>Operator: Jay Bilotta - (914) 737-8756</p> <p>Emergency Contact: Jay Bilotta (914) 960-5291</p>	<p>PBS ID: 3-801430</p>	<p>Issue Date: 06/20/2025</p> <p>Expiration Date: 04/04/2027</p>
<p>Owner: Bilotta Realty of Westchester, Inc. 296 Purchase Street Rye, NY 10580</p>		
<p>Issued by: Sherlita Amler, M.D. Commissioner of Health</p>		

As an authorized representative of the above-named facility, I affirm under penalty of perjury that the information displayed on this form is correct to the best of my knowledge. I recognize that I am responsible for assuring that this facility is in compliance with all sections of Article XXV and XXVI of the Westchester County Sanitary Code.

- The facility must be re-registered upon a transfer of ownership.
- The Department must be notified within 15 days prior to adding, replacing, reconditioning or permanently closing a stationary tank.
- THIS CERTIFICATE MUST BE POSTED ON THE PREMISES AT ALL TIMES. Posting must be at the tank, at the entrance of the facility or at the main office where the storage tanks are located.
- Any person with knowledge of a spill, leak or discharge must report the incident immediately to the Westchester County Department of Health at 914-813-5000 and to the New York State Department of Environmental Conservation at 800-457-7362.

Tank ID	Date Installed	Tank Location	Product	Capacity (gallons)	Last Tested	Next Test Due
1	01/2007	Aboveground on saddles, legs, stilts, racks or cradle	Diesel	2000		*
2	01/2007	Aboveground on saddles, legs, stilts, racks or cradle	Gasoline	1000		*
3	05/2007	Aboveground on saddles, legs, stilts, racks or cradle	Diesel	2000		*
4	01/2007	Aboveground on saddles, legs, stilts, racks or cradle	#2 Fuel Oil	275		*
5	01/2007	Aboveground on saddles, legs, stilts, racks or cradle	#2 Fuel Oil	275		*
6	01/2007	Aboveground on saddles, legs, stilts, racks or cradle	#2 Fuel Oil	1000		*
7	01/2007	Aboveground on saddles, legs, stilts, racks or cradle	Used Oil (Heating)	2000		*
8	01/2007	Aboveground on saddles, legs, stilts, racks or cradle	Hydraulic Oil	300		*
9	01/2007	Aboveground on saddles, legs, stilts, racks or cradle	Motor Oil	250		*
10	06/2025	Aboveground on saddles, legs, stilts, racks or cradle	Diesel	1000		*

Continued on next page

<p>Mailing Address: Jay Bilotta Dakota Supply Corp. 296 Purchase Street Rye NY 10580</p>	Name of Authorized Representative/Owner (print)	
	Signature of Authorized Representative/Owner	
	Title	Date

THIS CERTIFICATE IS NON-TRANSFERABLE

PETROLEUM BULK STORAGE/GASOLINE DISPENSING SITES REGISTRATION CERTIFICATE

<p>Site: Dakota Supply Corp. 2099 Albany Post Road Montrose, NY 10548</p> <p>Operator: Jay Bilotta - (914) 737-8756</p> <p>Emergency Contact: Jay Bilotta (914) 960-5291</p>	<p>PBS ID: 3-801430</p>	<p>Issue Date: 06/20/2025</p> <p>Expiration Date: 04/04/2027</p>
<p>Owner: Bilotta Realty of Westchester, Inc. 296 Purchase Street Rye, NY 10580</p>		<p>Issued by: Sherlita Amler, M.D. Commissioner of Health</p>

As an authorized representative of the above-named facility, I affirm under penalty of perjury that the information displayed on this form is correct to the best of my knowledge. I recognize that I am responsible for assuring that this facility is in compliance with all sections of Article XXV and XXVI of the Westchester County Sanitary Code.

- The facility must be re-registered upon a transfer of ownership.
- The Department must be notified within 15 days prior to adding, replacing, reconditioning or permanently closing a stationary tank.
- THIS CERTIFICATE MUST BE POSTED ON THE PREMISES AT ALL TIMES. Posting must be at the tank, at the entrance of the facility or at the main office where the storage tanks are located.
- Any person with knowledge of a spill, leak or discharge must report the incident immediately to the Westchester County Department of Health at 914-813-5000 and to the New York State Department of Environmental Conservation at 800-457-7362.

Tank ID	Date Installed	Tank Location	Product	Capacity (gallons)	Last Tested	Next Test Due
Vapor Recovery ID: 3552200071						

<p>Mailing Address: Jay Bilotta Dakota Supply Corp. 296 Purchase Street Rye NY 10580</p>	<i>Name of Authorized Representative/Owner (print)</i>	
	<i>Signature of Authorized Representative/Owner</i>	
	<i>Title</i>	<i>Date</i>

THIS CERTIFICATE IS NON-TRANSFERABLE

FACILITY INFORMATION REPORT

Facility: Dakota Supply Corp. 2099 Albany Post Road Montrose, NY 10548 Operator: Jay Bilotta Operator phone: (914) 737-8756 Emergency: Jay Bilotta Emergency phone: (914) 960-5291	PBS no.: 3-801430 Reg. issued: 06/20/2025 Reg. expires: 04/04/2027 Last inspected: 08/08/2022 Vapor recovery ID: 3552200071 Last Stage II test: Next Stage II test due: Site Type: Construction
Owner: Bilotta Realty of Westchester, Inc. 296 Purchase Street Rye, NY 10580 Type of ownership: Corporation Phone: (914) 967-2944	Mail: Dakota Supply Corp. 296 Purchase Street Rye, NY 10580 Phone: (914) 967-2944 Email: bilottaconst@verizon.net

TankID	1	2	3
Tank Location	3. Aboveground on saddles,legs,stilts,racks or cradle	3. Aboveground on saddles,legs,stilts,racks or cradle	3. Aboveground on saddles,legs,stilts,racks or cradle
Status	1. In-Service	1. In-Service	1. In-Service
Install	01/01/2007	01/01/2007	05/01/2007
Capacity	2000	1000	2000
Product	0008. Diesel	0009. Gasoline	0008. Diesel
%	0	0	0
Tank Type	1. Steel/Carbon steel/Iron	1. Steel/Carbon steel/Iron	1. Steel/Carbon steel/Iron
Tank Internal Protection	0. None	0. None	0. None
Tank External Protection	1. Painted/Asphalt Coating	1. Painted/Asphalt Coating	1. Painted/Asphalt Coating
Tank Secondary Containment	1. Diking (aboveground only) 10. Impervious Underlayment (AST Only)	1. Diking (aboveground only) 10. Impervious Underlayment (AST Only)	1. Diking (aboveground only) 10. Impervious Underlayment (AST Only)
Tank Leak Detection	2. Manual Interstitial Monitoring	2. Manual Interstitial Monitoring	2. Manual Interstitial Monitoring
Tank Overfill Prevention	4. Product Level Gauge (Aboveground Only) 5. Vent Whistle	3. Automatic Shut-off 4. Product Level Gauge (Aboveground Only)	3. Automatic Shut-off 4. Product Level Gauge (Aboveground Only)
Pumping/Dispensing Method			
Spill Prevention	1. Catch Basin	1. Catch Basin	1. Catch Basin
Piping Location	1. Aboveground	1. Aboveground	1. Aboveground
Piping Type	2. Galvanized Steel	2. Galvanized Steel	2. Galvanized Steel
Piping External Protection	0. None	0. None	0. None
Piping Secondary Containment	0. None	0. None	0. None
Piping Leak Detection	2. Manual Interstitial Monitoring	2. Manual Interstitial Monitoring	2. Manual Interstitial Monitoring
Last Test			
Next Test Due	*	*	*
Closed			

TankID	4	5	6
Tank Location	3. Aboveground on saddles,legs,stilts,racks or cradle	3. Aboveground on saddles,legs,stilts,racks or cradle	3. Aboveground on saddles,legs,stilts,racks or cradle
Status	1. In-Service	1. In-Service	1. In-Service
Install	01/01/2007	01/01/2007	01/01/2007
Capacity	275	275	1000
Product	0001. #2 Fuel Oil	0001. #2 Fuel Oil	0001. #2 Fuel Oil
%	0	0	0
Tank Type	1. Steel/Carbon steel/Iron	1. Steel/Carbon steel/Iron	1. Steel/Carbon steel/Iron
Tank Internal Protection	0. None	0. None	0. None
Tank External Protection	1. Painted/Asphalt Coating	1. Painted/Asphalt Coating	1. Painted/Asphalt Coating
Tank Secondary Containment	1. Diking (aboveground only) 10. Impervious Underlayment (AST Only)	1. Diking (aboveground only) 10. Impervious Underlayment (AST Only)	1. Diking (aboveground only) 10. Impervious Underlayment (AST Only)
Tank Leak Detection	2. Manual Interstitial Monitoring	2. Manual Interstitial Monitoring	2. Manual Interstitial Monitoring
Tank Overfill Prevention	1. Float Vent Valve 4. Product Level Gauge (Aboveground Only)	1. Float Vent Valve 4. Product Level Gauge (Aboveground Only)	3. Automatic Shut-off 4. Product Level Gauge (Aboveground Only)
Pumping/Dispensing Method			
Spill Prevention	1. Catch Basin	1. Catch Basin	1. Catch Basin
Piping Location	1. Aboveground	1. Aboveground	1. Aboveground
Piping Type	10. Copper	10. Copper	10. Copper
Piping External Protection	0. None	0. None	0. None
Piping Secondary Containment	0. None	0. None	0. None
Piping Leak Detection	2. Manual Interstitial Monitoring	2. Manual Interstitial Monitoring	2. Manual Interstitial Monitoring
Last Test			
Next Test Due	*	*	*
Closed			

TankID	7	8	9
Tank Location	3. Aboveground on saddles,legs,stilts,racks or cradle	3. Aboveground on saddles,legs,stilts,racks or cradle	3. Aboveground on saddles,legs,stilts,racks or cradle
Status	1. In-Service	1. In-Service	1. In-Service
Install	01/01/2007	01/01/2007	01/01/2007
Capacity	2000	300	250
Product	2642. Used Oil (Heating)	0010. Hydraulic Oil	0015. Motor Oil
%			
Tank Type	1. Steel/Carbon steel/Iron	1. Steel/Carbon steel/Iron	1. Steel/Carbon steel/Iron
Tank Internal Protection	0. None	0. None	0. None
Tank External Protection	1. Painted/Asphalt Coating	1. Painted/Asphalt Coating	1. Painted/Asphalt Coating
Tank Secondary Containment	10. Impervious Underlayment (AST Only)	10. Impervious Underlayment (AST Only)	10. Impervious Underlayment (AST Only)
Tank Leak Detection	6. Impervious Barrier/Concrete Pad (Aboveground Only)	6. Impervious Barrier/Concrete Pad (Aboveground Only)	6. Impervious Barrier/Concrete Pad (Aboveground Only)
Tank Overfill Prevention	4. Product Level Gauge (Aboveground Only) 5. Vent Whistle	4. Product Level Gauge (Aboveground Only) 5. Vent Whistle	4. Product Level Gauge (Aboveground Only) 5. Vent Whistle
Pumping/Dispensing Method			
Spill Prevention			
Piping Location	0. No Piping	0. No Piping	0. No Piping
Piping Type	0. No Piping	0. No Piping	0. No Piping
Piping External Protection			
Piping Secondary Containment			
Piping Leak Detection			
Last Test			
Next Test Due	*	*	*
Closed			

TankID	10		
Tank Location	3. Aboveground on saddles,legs,stilts,racks or cradle		
Status	1. In-Service		
Install	06/12/2025		
Capacity	1000		
Product	0008. Diesel		
%			
Tank Type	1. Steel/Carbon steel/Iron		
Tank Internal Protection			
Tank External Protection	1. Painted/Asphalt Coating		
Tank Secondary Containment	1. Diking (aboveground only) 12. Double-Walled (AST only)		
Tank Leak Detection	2. Manual Interstitial Monitoring 6. Impervious Barrier/Concrete Pad (Aboveground Only)		
Tank Overfill Prevention	4. Product Level Gauge (Aboveground Only)		
Pumping/Dispensing Method	6. Tank-Mounted Dispenser		
Spill Prevention	1. Catch Basin		
Piping Location			
Piping Type			
Piping External Protection			
Piping Secondary Containment			
Piping Leak Detection			
Last Test			
Next Test Due	*		
Closed			

TankID			
Tank Location			
Status			
Install			
Capacity			
Product			
%			
Tank Type			
Tank Internal Protection			
Tank External Protection			
Tank Secondary Containment			
Tank Leak Detection			
Tank Overfill Prevention			
Pumping/Dispensing Method			
Spill Prevention			
Piping Location			
Piping Type			
Piping External Protection			
Piping Secondary Containment			
Piping Leak Detection			
Last Test			
Next Test Due			
Closed			

Catch Basin / Manhole Operation, Maintenance, and Management Inspection Checklist

Project:

Location:

Site Status:

Date:

Time:

Inspector:

*Inspections should also be conducted after major storm events post construction if stormwater structures show any signs of damage.

Maintenance Item	Satisfactory/Unsatisfactory	Comments
1. Debris Cleanout (Annual)		
Contributing area clean of debris		
Structure free of debris		
2. Catch Basin / Manhole (Annual)		
No evidence of flow going around structures		
Frame and grate condition		
Structure condition		
3. Dewatering, to base of pipe inverts (Annual)		
Dewaters between storms		
4. Sediment deposition (Annual)		
Clean of sediment		

Culvert Operation, Maintenance, and Management Inspection Checklist

Project:
 Location:
 Site Status:
 Date:
 Time:
 Inspector:

*Inspections should also be conducted after major storm events post construction if stormwater structures show any signs of damage.

Maintenance Item	Satisfactory/Unsatisfactory	Comments
1. Debris Cleanout (Annual)		
Contributing area clean of debris		
Culvert free of debris		
2. Culvert (Annual)		
No evidence of flow going around structures		
No evidence of erosion at downstream toe		
Pipe condition		
Connections at catch basin and drop inlets		
3. Dewatering (Annual)		
Dewaters between storms		
4. Sediment deposition (Annual)		
Clean of sediment		

Hydrodynamic Structure Operation, Maintenance, and Management Inspection Checklist

Project:

Location:

Site Status:

Date:

Time:

Inspector:

*Inspections should also be conducted after major storm events post construction if stormwater structures show any signs of damage.

Maintenance Item	Satisfactory/Unsatisfactory	Comments
1. Debris Cleanout (Annual)		
Contributing area clean of debris		
Structure free of debris		
2. Hydrodynamic Structure (Annual)		
No evidence of flow going around structures		
Frame and grate condition		
Structure condition		
3. Dewatering, to base of pipe inverts (Annual)		
Dewaters between storms		
4. Sediment deposition (Annual)		
Clean of sediment		

Concrete Pre-Treatment Structure Operation, Maintenance, and Management Inspection Checklist

Project:

Location:

Site Status:

Date:

Time:

Inspector:

*Inspections should also be conducted after major storm events post construction if stormwater structures show any signs of damage.

Maintenance Item	Satisfactory/Unsatisfactory	Comments
1. Debris Cleanout (Annual)		
Contributing area clean of debris		
Structure free of debris		
2. Structure (Annual)		
No evidence of flow going around structures		
Frame and grate condition		
Structure condition		
3. Dewatering, to base of pipe inverts (Annual)		
Dewaters between storms		
4. Sediment deposition (Annual)		
Clean of sediment		

Pond and Wetland Stormwater Management Practices Level 1 Inspection Checklist

SMP ID #		SMP Owner		<input type="checkbox"/> Private <input type="checkbox"/> Public
SMP Location (Address; Latitude & Longitude)				
	Latitude		Longitude	
Party Responsible for Maintenance	System Type		Type of Site	
<input type="checkbox"/> Same as SMP Owner <input type="checkbox"/> Other <hr style="width: 100%;"/>	<input type="checkbox"/> Seasonal <input type="checkbox"/> Continuous Use <input type="checkbox"/> Other	<input type="checkbox"/> Above Ground <input type="checkbox"/> Below Ground	<input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> State	
Inspection Date			Inspection Time	
Inspector				
Date of Last Inspection				

PW Drainage Area

Look for areas that are uphill from the pond.

Problem (Check if Present)	Follow-Up Actions
<input type="checkbox"/> Bare soil, erosion of the ground (rills washing out the dirt)	<input type="checkbox"/> Seed and straw areas of bare soil to establish vegetation. <input type="checkbox"/> Fill in eroded areas with soil, compact, seed and mulch with straw to establish vegetation. <input type="checkbox"/> Other:

<input type="checkbox"/> Bare soil, erosion of the ground (rills washing out the dirt)	<input type="checkbox"/> Kick-Out to Level 2 Inspection: If a rill or small channel is forming, try to redirect water flowing to this area by creating a small berm or adding topsoil to areas that are heavily compacted. <input type="checkbox"/> If large areas of soil have been eroded or larger channels are forming, this may require rerouting of flow paths or use of an erosion-control seed mat or blanket to reestablish acceptable ground cover or anchor sod where it is practical.
 <input type="checkbox"/> Piles of grass clippings, mulch, dirt, salt, or other materials	<input type="checkbox"/> Remove or cover piles of grass clippings, mulch, dirt, etc. <input type="checkbox"/> Remove excessive vegetation or woody debris that can block drainage systems. <input type="checkbox"/> Other:
 <input type="checkbox"/> Open containers of oil, grease, paint, or other substances exposed to rain in the drainage area	<input type="checkbox"/> Cover or properly dispose of materials; consult your local solid waste authority for guidance on materials that may be toxic or hazardous. <input type="checkbox"/> Other:

Pond Inlets

Look for all areas where water flows into the pond during storms. Note that there may be multiple points of inflow and types of structures (e.g., pipes, open ditches, etc.).

Problem (Check if Present)	Follow-Up Actions
 <input type="checkbox"/> Inlets are buried, covered or filled with silt, debris, or trash, or blocked by excessive vegetation.	<input type="checkbox"/> If the problem can be remedied with hand tools and done in a safe manner, remove vegetation, trash, woody debris, etc. from blocking inlet structures. <input type="checkbox"/> Other: <input type="checkbox"/> Kick-Out to Level 2 or 3 Inspection: If the amount of material is too large to handle OR there are ANY safety concerns about working in standing water, soft sediment, etc., the work will likely have to be performed by a qualified contractor.

Pond Inlets

Look for all areas where water flows into the pond during storms. Note that there may be multiple points of inflow and types of structures (e.g., pipes, open ditches, etc.).

Problem (Check if Present)	Follow-Up Actions
 <p><input type="checkbox"/> Inlets are buried, covered or filled with silt, debris, or trash, or blocked by excessive vegetation.</p>	<p><input type="checkbox"/> Kick-Out to Level 2 or 3 Inspection: If the amount of material is too large to handle OR there are ANY safety concerns about working in standing water, soft sediment, etc., the work will likely have to be performed by a qualified contractor.</p>
 <p><input type="checkbox"/> Inlets are broken, and, with pieces of pipe or concrete falling into the pond, there is erosion around the inlet, there is open space under the pipe, or there is erosion where the inlet meets the pond</p>	<p><input type="checkbox"/> Kick-Out to Level 2 Inspection: These types of structural or erosion problems are more serious and will require a qualified contractor to repair.</p>

PW Pond Area and Embankments

Examine both interior and exterior pond banks as well as the pond body. Observe from the inlet pipes to the outfall structure and emergency overflow.

Problem (Check if Present)	Follow-Up Actions
 <p><input type="checkbox"/> The pretreatment area(s) or forebay(s) are filled with sediment, trash, vegetation, or other debris.</p>	<p><input type="checkbox"/> If the problem can be remedied with hand tools and done in a safe manner, use a flat shovel or other equipment to remove small amounts of sediment.</p> <p><input type="checkbox"/> Remove trash and excessive vegetation from forebays if this can be done in a safe manner.</p> <p><input type="checkbox"/> Other:</p>

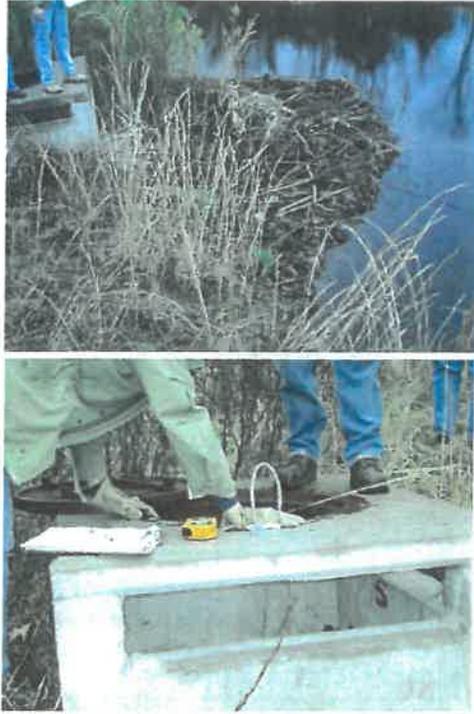
PW Pond Area and Embankments

Examine both interior and exterior pond banks as well as the pond body. Observe from the inlet pipes to the outfall structure and emergency overflow.

Problem (Check if Present)	Follow-Up Actions
	<input type="checkbox"/> The pretreatment area(s) or forebay(s) are filled with sediment, trash, vegetation, or other debris. <input type="checkbox"/> Kick-Out to Level 2 Inspection: Large amounts of sediment or debris will have to be removed by a qualified contractor. ANY condition that poses a safety concern for working in standing water or soft sediments should be referred to a Level 2 Inspection or qualified contractor.
	<input type="checkbox"/> The pond area itself has accumulated sediment, trash, debris, or excessive vegetation that is choking the flow of the water, OR the pond area is covered with algae or aquatic plants. <input type="checkbox"/> Level 1 includes handling only small amounts of material that can be removed by hand, or with rakes or other hand tools. Do not attempt any repair that poses a safety issue. <input type="checkbox"/> Other: <input type="checkbox"/> Kick-Out to Level 2 Inspection: Most cases will call for a Level 2 Inspection and/or a qualified contractor. <input type="checkbox"/> You are not sure what type and amount of vegetation is supposed to be in the pond. <input type="checkbox"/> The algae or aquatic plants should be identified so that proper control techniques can be applied.
	<input type="checkbox"/> The side slopes of the pond are unstable, eroding, and have areas of bare dirt. <input type="checkbox"/> If there are only minor areas, try filling in small rills or gullies with topsoil, compacting, and seeding and mulching all bare dirt areas with an appropriate seed. Alternatively, try using herbaceous plugs to get vegetation established in tricky areas, such as steep slopes. <input type="checkbox"/> Other: <input type="checkbox"/> Kick-Out to Level 2 Inspection: Erosion and many bare dirt areas on steep side slopes will require a Level 2 Inspection and repair by a qualified contractor.

PW Pond Area and Embankments

Examine both interior and exterior pond banks as well as the pond body. Observe from the inlet pipes to the outfall structure and emergency overflow.

Problem (Check if Present)		Follow-Up Actions
	<p><input type="checkbox"/> The riser structure is clogged with trash, debris, sediment, vegetation, etc., OR is open, unlocked, or has a steep drop and poses a safety concern. The pond level may have dropped below its "normal" level.</p>	<p><input type="checkbox"/> If you can safely access the riser on foot or with a small boat, clear minor amounts of debris and remove it from the pond area for safe disposal.</p> <p><input type="checkbox"/> Other:</p> <hr/> <p><input type="checkbox"/> Kick-Out to Level 2 Inspection: The riser cannot be accessed safely, the amount of debris is substantial, or the riser seems to be completely clogged and the water level has risen too high.</p> <p><input type="checkbox"/> There are safety issues with the riser and concern about access to pipes, drops, or any other life safety concern.</p> <p><input type="checkbox"/> The riser is leaning, broken, settling or slumping, corroded, eroded or any other structural problem.</p>
	<p><input type="checkbox"/> The dam/embankment is slumping, sinking, settling, eroding, or has medium or large trees growing on it.</p>	<p><input type="checkbox"/> If there are small isolated areas, try to fix them by adding clean material (clay and topsoil) and seeding and mulching.</p> <p><input type="checkbox"/> Periodically mow embankments to enable inspection of the banks and to minimize establishment of woody vegetation.</p> <p><input type="checkbox"/> Remove any woody vegetation that has already established on embankments.</p> <p><input type="checkbox"/> Other:</p> <hr/> <p><input type="checkbox"/> Kick-Out to Level 2 Inspection: Most of these situations will require a Level 2 Inspection or evaluation and repair by a qualified contractor. Seepage through the dam or problems with the pipe through the dam can be a serious issue that should be addressed to avoid possible dam failure.</p>

PW Pond Area and Embankments

Examine both interior and exterior pond banks as well as the pond body. Observe from the inlet pipes to the outfall structure and emergency overflow.

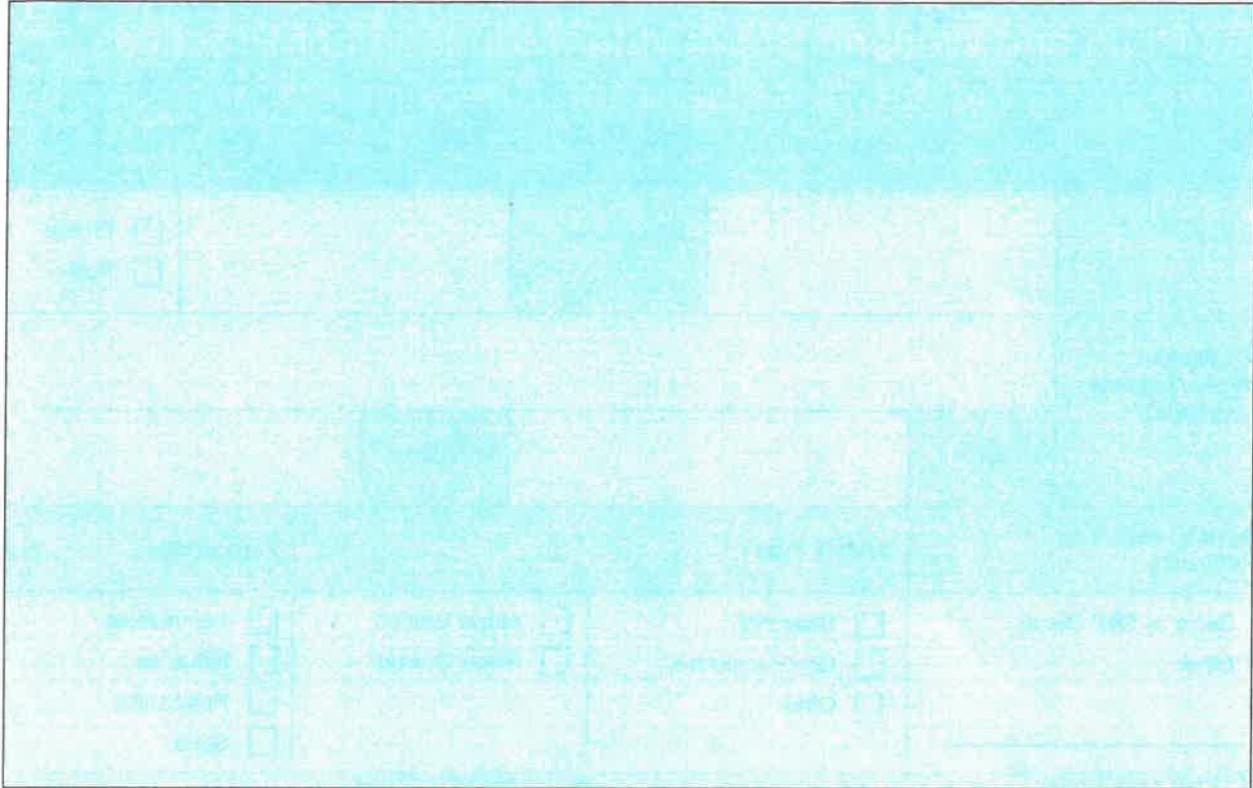
Problem (Check if Present)		Follow-Up Actions
	<input type="checkbox"/> The emergency spillway or outfall (if it exists) has <input type="checkbox"/> Erosion, settlement, or loss of material. Rock-lined spillways have excessive debris or vegetation.	<input type="checkbox"/> Clear light debris and vegetation. <input type="checkbox"/> Other: <input type="checkbox"/> Kick-Out to Level 2 Inspection: Displacement of rock lining, excessive vegetation and erosion/settlement may warrant review and decision by Level 2 Inspector to check against original plan. <input type="checkbox"/> Any uncertainty about the integrity of the emergency spillway should be referred to a Level 2 Inspector. <input type="checkbox"/> Erosion or settlement such that design has been compromised should be reviewed by an engineer.

PW Pond Outlet

Examine the outlet of the pipe on the downstream side of the dam/embankment where it empties into a stream, channel, or drainage system.

Problem (Check if Present)	Follow-Up Actions
 <input type="checkbox"/> The pond outlet is clogged with sediment, trash, debris, vegetation, or is eroding, caving in, slumping, or falling apart.	<input type="checkbox"/> If there is a minor blockage, remove the debris or vegetation to allow free flow of water. <input type="checkbox"/> Remove any accumulated trash at the outlet. <input type="checkbox"/> Outlet: <input type="checkbox"/> Kick-Out to Level 2 Inspection: <input type="checkbox"/> If the area at the outlet cannot be easily accessed or if the blockage is substantial, a Level 2 Inspection is warranted. <input type="checkbox"/> Erosion at and downstream of the outfall should be evaluated by a qualified professional. <input type="checkbox"/> Any structural problems, such as broken pipes, structures falling into the stream, or holes or tunnels around the outfall pipe, should be evaluated by a Level 2 Inspector and will require repair by a qualified contractor. <input type="checkbox"/> The pool of water at the outlet pipe is discolored, has an odor, or has excessive algae or vegetative growth.

Additional Notes:



Inspector: _____

Date: _____

Complete the following if follow-up/corrective actions were identified during this inspection:

Certified Completion of Follow-Up Actions:

"I hereby certify that the follow-up/corrective actions identified in the inspection performed on _____ (DATE) have been completed and any required maintenance deficiencies have been adequately corrected."

Inspector/Operator: _____

Date: _____

Pond and Wetland Stormwater Management Practices Level 2 Inspection Checklist

SMP ID #		SMP Owner		<input type="checkbox"/> Private
				<input type="checkbox"/> Public
SMP Location (Address; Latitude & Longitude)				
	Latitude		Longitude	
Party Responsible for Maintenance	System Type		Type of Site	
<input type="checkbox"/> Same as SMP Owner <input type="checkbox"/> Other _____	<input type="checkbox"/> Seasonal <input type="checkbox"/> Continuous Use <input type="checkbox"/> Other	<input type="checkbox"/> Above Ground <input type="checkbox"/> Below Ground	<input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> State	
Inspection Date		Inspection Time		
Inspector				
Date of Last Inspection				

Level 2 Inspection: PONDS and WETLANDS

Recommended Repairs and Required Skills

Triggers for Level 3 Inspection

Observed Condition: Bare Soil or Erosion in the Drainage Area

- Condition 1: Extensive problem spots, but no channels or rills forming

Reseed problem areas. If problem persists or grass does not take, consider hiring a landscape contractor.

- Condition 2: Problem is extensive, and rills/channels are beginning to form

May be necessary to divert or redirect water that is causing the erosion problem. If it appears that simple regrading—such as installing a berm or leveling a low spot—will fix the problem, make repairs and ensure that the problem is repaired after the next storm.

- Large rills or gullies are forming in the drainage area.
- An attempt to regrade the drainage area has been unsuccessful.
- Fixing the problem would require major regrading (i.e., redirecting more than a 100-square-foot area).
- It is not clear why the problem is occurring.

- Level 3 inspection necessary

Observed Condition: Manholes or Inlet Pipe Buried or Covered with Vegetation

- Condition 1: Nearest manhole and inlet pipe not found

Consult as-built drawings to get to closest suspected location and use metal detector to search for metal manhole cover. If unsuccessful, identify nearest drain inlets and approximate pipe direction to locate next manhole.

- Condition 2: Manhole located and inspected

Never enter a manhole, except by following confined-space entry protocols.

If outlet pipe is not visible or greater than 25% full of sediment/debris or trash, it will typically require a qualified contractor to flush, clean and clear blockages.

- Condition 3: Inlet pipe not found at pond

Clear vegetation and brush that may be covering the inlet pipe. Buried inlet pipes may be found through use of a metal probe.

- Condition 4: Inlet pipe buried in sediment or blocked by vegetation

Once located, the pipe path can be cleared of vegetation with brush hook or other brush tools. Light digging may clear sediment from the end of the pipe.

- To locate buried manholes and lost storm lines, it is sometimes necessary to hire a pipeline inspection contractor with televising equipment or ground-penetrating radar and enter at the closest upstream access point.
- Locating a buried inlet pipe may require wading in the edge of the pond and using a metal probe and brush axe to find and expose the pipe.
- If other than light digging is necessary to remove accumulated sediment, a contractor with heavy equipment may be required.

- Level 3 inspection necessary

Level 2 Inspection: PONDS and WETLANDS

Recommended Repairs and Required Skills	Triggers for Level 3 Inspection
Observed Condition: Pipe or Headwall Settlement, Erosion, Corrosion or Failure	
<p><input type="checkbox"/> Condition 1: Pipe or headwall settlement or failure</p> <p>Severe sinkholes, settlement or corrosion should be kicked out to Level 3 Inspection.</p> <p><input type="checkbox"/> Condition 2: Flow not confined to pipe and visible outside pipe wall</p> <p>With flashlight, observe the inside of the pipe and note its condition. Take photographs. Look for sinkholes developing that indicate pipe failure beneath the surface. Kick out to Level 3 inspection.</p>	<ul style="list-style-type: none"> • Where blockages are visible, a decision is needed on whether to clear them or leave in place. If a third of the pipe is full of sediment, it should be removed by a contractor with pipe-cleaning equipment. • Corrosion of inlet pipes that allows flow around the pipe exterior is a structural concern because it can lead to settlement, sinkholes and undermining pond embankment. Evidence of this type of failure may require specialized pipe-inspection equipment and investigation by an engineer. <p style="text-align: right;"><input type="checkbox"/> Level 3 inspection necessary</p>
Observed Condition: Pond Conditions	
<p><input type="checkbox"/> Condition 1: Pond pre-treatment zone is full of sediment or not constructed as shown on as-built drawings.</p> <p><input type="checkbox"/> Condition 2: Excessive buildup of sediment or overgrowth</p> <p>If the pre-treatment area or pond pool is overgrown or filled with sediment so that the original design is compromised, corrective measures are required. If plants have died, then replanting is necessary. If none of the original design exists due to alteration or sediment, kick out to Level 3 inspection.</p>	<ul style="list-style-type: none"> • It may require inspection by an engineer to determine next steps for clearing, replanting or reconstruction. • Erosion or settlement such that design has been compromised should be reviewed by an engineer. Recurring erosion may require redesign and/or regrading to direct flow away from eroding area. • If sediment has filled more than 50% of the pond's capacity, dredging is likely needed and should be evaluated by a qualified contractor. • Removal or control of excessive algae or aquatic plants can be assessed by a qualified pond maintenance company. <p style="text-align: right;"><input type="checkbox"/> Level 3 inspection necessary</p>

Notes:

Inspector: _____

Date: _____

Complete the following if follow-up/corrective actions were identified during this inspection:

Certified Completion of Follow-Up Actions:

"I hereby certify that the follow-up/corrective actions identified in the inspection performed on _____ (DATE) have been completed and any required maintenance deficiencies have been adequately corrected."

Inspector/Operator: _____

Date: _____

CDS[®] Inspection and Maintenance Guide – New Jersey



Maintenance

The CDS system should be inspected at regular intervals and maintained when necessary to ensure optimum performance. The rate at which the system collects pollutants will depend more heavily on site activities than the size of the unit. For example, unstable soils or heavy winter sanding will cause the grit chamber to fill more quickly but regular sweeping of paved surfaces will slow accumulation.

Inspection

Inspection is the key to effective maintenance and is easily performed. Pollutant transport and deposition may vary from year to year and regular inspections will help ensure that the system is cleaned out at the appropriate time. At a minimum, inspections should be performed twice per year (e.g. spring and fall) however more frequent inspections may be necessary in climates where winter sanding operations may lead to rapid accumulations, or in equipment washdown areas. Installations should also be inspected more frequently where excessive amounts of trash are expected.

The visual inspection should ascertain that the system components are in working order and that there are no blockages or obstructions in the inlet and separation screen. The inspection should also quantify the accumulation of hydrocarbons, trash, and sediment in the system. Measuring pollutant accumulation can be done with a calibrated dipstick, tape measure or other measuring instrument. If absorbent material is used for enhanced removal of hydrocarbons, the level of discoloration of the sorbent material should also be identified during inspection. It is useful and often required as part of an operating permit to keep a record of each inspection. A simple form for doing so is provided.

Access to the CDS unit is typically achieved through two manhole access covers. One opening allows for inspection and cleanout of the separation chamber (cylinder and screen) and isolated sump. The other allows for inspection and cleanout of sediment captured and retained outside the screen. For deep units, a single manhole access point allows both sump cleanout and access outside the screen.

The CDS system should be cleaned when the level of sediment has reached 75% of capacity in the isolated sump or when an appreciable level of hydrocarbons and trash has accumulated. If absorbent material is used, it should be replaced when significant discoloration has occurred. Performance will not be impacted until 100% of the sump capacity is exceeded however it is recommended that the system be cleaned prior to that for easier removal of sediment. The level of sediment is easily determined by measuring from finished grade down to the top of the sediment pile. To avoid underestimating the level of sediment in the chamber, the measuring device must be lowered to the top of the sediment pile carefully. Particles at the top of the pile typically offer less resistance to the end of the rod than consolidated particles toward the bottom of the pile. Once this measurement is recorded, it should be compared to the as-built drawing for the unit to determine whether the height of the sediment pile off the bottom of the sump floor exceeds 75% of the total height of isolated sump. Refer to Table 1 for depth

from water surface to top of sediment pile for each model size indicating that maintenance is required.

Cleaning

Cleaning of a CDS systems should be done during dry weather conditions when no flow is entering the system. The use of a vacuum truck is generally the most effective and convenient method of removing pollutants from the system. Simply remove the manhole covers and insert the vacuum hose into the sump. The system should be completely drained down and the sump fully evacuated of sediment. The area outside the screen should also be cleaned out if pollutant build-up exists in this area.

In installations where the risk of petroleum spills is small, liquid contaminants may not accumulate as quickly as sediment. However, the system should be cleaned out immediately in the event of an oil or gasoline spill should be cleaned out immediately. Motor oil and other hydrocarbons that accumulate on a more routine basis should be removed when an appreciable layer has been captured. To remove these pollutants, it may be preferable to use absorbent pads since they are usually less expensive to dispose than the oil/water emulsion that may be created by vacuuming the oily layer. Trash and debris can be netted out to separate it from the other pollutants. The screen should be power washed to ensure it is free of trash and debris.

Manhole covers should be securely seated following cleaning activities to prevent leakage of runoff into the system from above and also to ensure that proper safety precautions have been followed. Confined space entry procedures need to be followed if physical access is required. Disposal of all material removed from the CDS system should be done in accordance with local regulations. In many jurisdictions, disposal of the sediments may be handled in the same manner as the disposal of sediments removed from catch basins or deep sump manholes.



CDS Model	Diameter		Distance from Water Surface to Top of Sediment Pile ¹		Sediment Storage Capacity	
	ft	m	ft	m	yd ³	m ³
CDS-4	4	1.2	3.0	0.9	0.9	0.7
CDS-5	5	1.5	3.7	1.1	1.5	1.1
CDS-6	6	1.8	4.7	1.4	2.1	1.6
CDS-8	8	2.4	5.8	1.8	3.7	2.8
CDS-10	10	3.0	7.4	2.3	5.8	4.4
CDS-12	12	3.4	8.0	2.4	8.4	6.4

Table 1: CDS Maintenance Indicators and Sediment Storage Capacities

¹ Distances from water surface to top of sediment pile are based on 75% of sump capacity being occupied.



Support

- Drawings and specifications are available at www.contechstormwater.com.
- Site-specific design support is available from our engineers.

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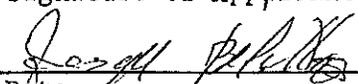
Contech Engineered Solutions LLC provides site solutions for the civil engineering industry. Contech's portfolio includes bridges, drainage, sanitary sewer, stormwater, earth stabilization and wastewater treatment products. For information, visit www.contechES.com or call 800.338.1122

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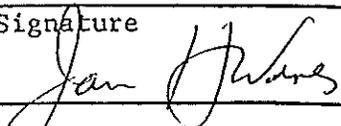
The product(s) described may be protected by one or more of the following US patents: 5,322,629; 5,624,576; 5,707,527; 5,759,415; 5,788,848; 5,985,157; 6,027,639; 6,350,374; 6,406,218; 6,641,720; 6,511,595; 6,649,048; 6,991,114; 6,998,038; 7,186,058; 7,296,692; 7,297,266; 7,517,450 related foreign patents or other patents pending.

NEW YORK STATE DEPARTMENT OF HEALTH
APPLICATION FOR APPROVAL OF SPECIAL PROTECTIVE DEVICE(S)

FOR APPLICANT'S USE ONLY

Name of Facility: Montrose Improvement District	Location of Work (City, Village, Town) Montrose, Town of Cortlandt	County Westchester
Purveyor Water System Pressures at Point of Connection (PSI) Max <u>180</u> Avg. <u>150</u> Min <u>120</u>	Customer Water System Pressures at Point of Connection (PSI) Max <u>180</u> Avg. <u>150</u> Min <u>120</u>	
Nature of Project: <input checked="" type="checkbox"/> New Works <input type="checkbox"/> Modifications	Estimated Cost: <u>\$10,000.00</u>	Mfg., Number & Size of Devices 4" ϕ Heesey Co. MODEL .6 CM REDUCED PRESSURE BACKFLOW PREVENTER.
Location of Device(s): 177 ALBANY POST ROAD MONTROSE, NEW YORK 10548		
Name of Design Engineer GEORGE J. MOTTARELLA, PE	Address 2 BROOKDALE PLACE RTE. N.Y. 10580	N.Y. State License No: <u>057645</u> Telephone No: <u>(914) 967-9077</u>
Name and Title of Applicant or Designated Representative JOSEPH BILOTTA - PRESIDENT	Signature of Applicant 	
Mailing Address 162 CROTONA AVENUE HARRISON NEW YORK 10528	Date: <u>12/2/91</u>	

2. FOR LOCAL WATER SUPPLY OFFICIAL'S USE ONLY

<input checked="" type="checkbox"/> Recommends Approval of Project <input type="checkbox"/> Recommends Rejection of Project	Name & Title of Local Water Official Jan H. Wines Superintendent
Mailing Address:	Signature 

Note: All applications must be accompanied by plans, specifications and an engineer's report describing the project in detail. The project must first be submitted to the local water supply official, who will forward it to the city, county, District or Regional Public Health Engineer. Signature by a designated representative must be accompanied by a letter of authorization. This form must be prepared in quadruplicate with four copies of all plans, specifications and descriptive literature.



ANDREW P. O'ROURKE
County Executive

DEPARTMENT OF HEALTH

MARK S. RAPOPORT, M.D., M.P.H.
Commissioner

Mr. Joseph Bilotta
162 Crotona Avenue
Harrison, NY 10528

MAR 6 1992

RE: REF# CC-1055
Approval of Plans
Installation of Backflow
Prevention Device

Dear Mr. Bilotta:

The plans and specifications for the above project have been reviewed and approved by this office.

A Certificate of Approval is attached.

Also attached is the Request for Completed Works Approval which consists of two parts: (1) the initial test of the device(s) by a certified backflow preventer device tester, and (2) a Certification That Installation Is In Accordance With Approved Plans by the design engineer or architect, or the water supplier. This must be accomplished within 45 days of installation.

Very truly yours,

John V. D'Aquino, P.E.
Director

Bureau of Environmental Quality

JVD:RF:ls
Enclosures

cc: NYSDH, BPWS-Albany
✓ Jan Wines, Supt - Montrose I.D.
George Mottarella, P.E..
File
Chron



YORK STATE DEPARTMENT OF HEALTH
 CERTIFICATE OF APPROVAL
 FOR BACKFLOW PREVENTION DEVICE(S)

This approval is issued under the provisions of 10 NYCRR, Part 5, Section 5-1.31:

LOG No. CC-1055		
Facility: Sandport Supply Corp.	City, Village, Town: Montrose	County: Westchester
Owners's Mailing Address: Mr. Joseph Bilotta 162 Crotona Avenue Harrison, NY 10528		
Physical Location of Backflow Prevention Device(s): North West corner of property		
Description of Device(s): One (1) Hersey #6CM - 4" RPZ		
Water Supplier: Montrose Improvement District		
		<u>Jan Wines, Superintendent</u> Name (Designated Representative)
P.O. Box 92, Montrose, New York 10548		
Mailing Address		Zip

Conditions of approval:

- A. THAT within 45 days of installation, the attached certification will be completed and returned to the water supplier and the approving agent.
- B. THAT a certified backflow prevention device tester test the above backflow prevention device(s) at least yearly and report the results to the water purveyor indicated above.
- C. THAT any connection made prior to the backflow prevention device(s) shall render this approval void.
- D. THAT the proposed works be constructed in conformance with plans and specifications approved this day and any amendments thereto.
- E. THAT the approved RPZ shall be so set that the test cocks are faced for easy access.

ISSUED FOR THE STATE COMMISSIONER OF HEALTH BY:

John V. DeGuzis
Designated Representative

Date: MAR 6 1992

Title: _____ Director

OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
2099 Albany Post Rd,
Montrose, NY 10548
Phone: 914.737.7891

**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

Town of Cortlandt,
Westchester, New York

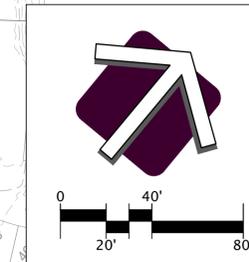
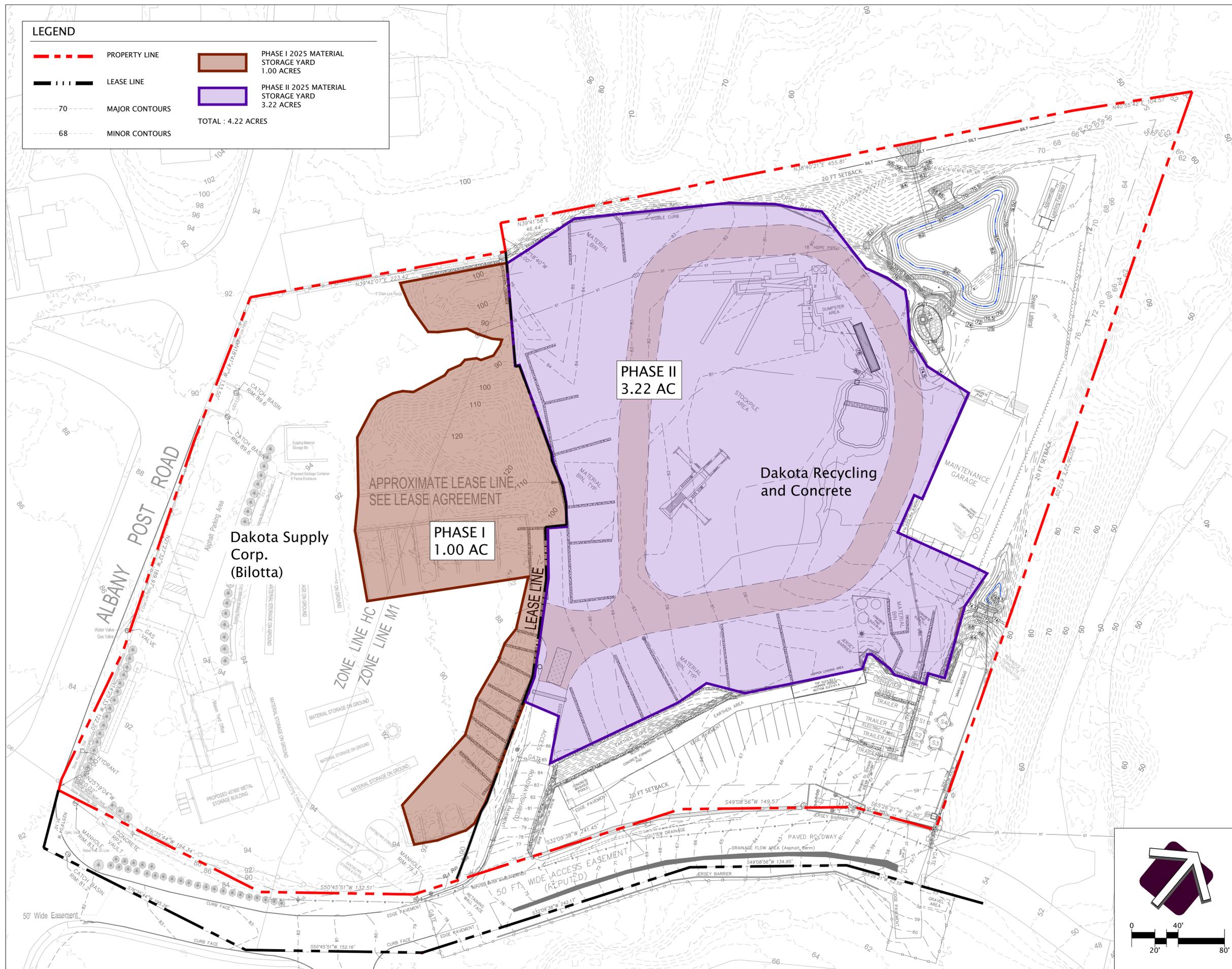
Date	Revision	Drawn
01/20/2026	Town Engineer's Comments	WD

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Date: 05/27/2025 Checked By: SEM
Sheet 2 of 3

2025 Material Storage Yard

Figure 2



OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

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**Phase 2
Dakota
Recycling Services
and
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Concrete Services**

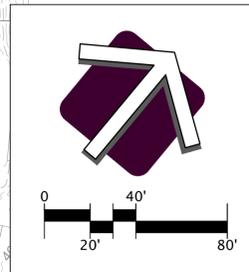
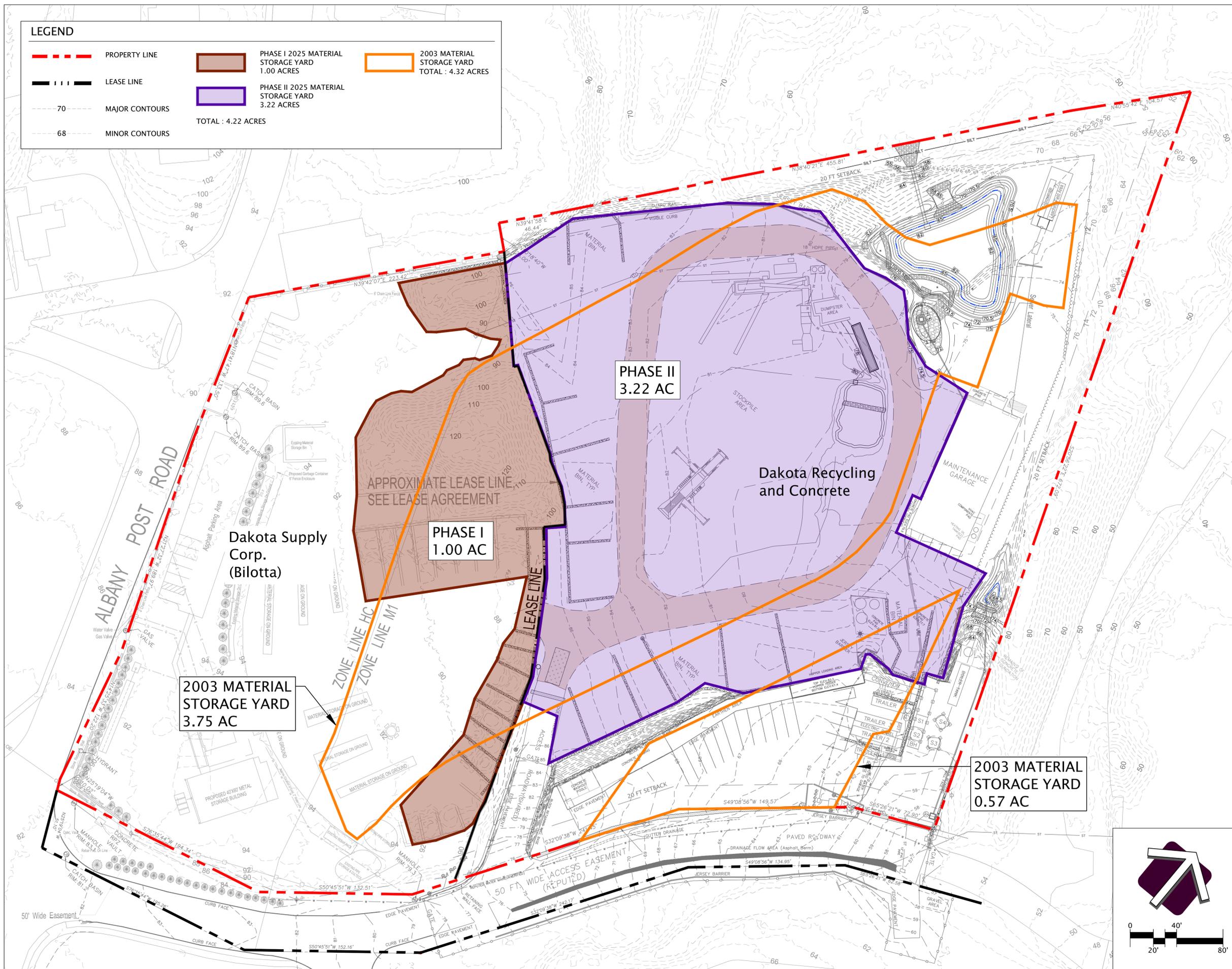
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
01/20/2026	Town Engineer's Comments	WD

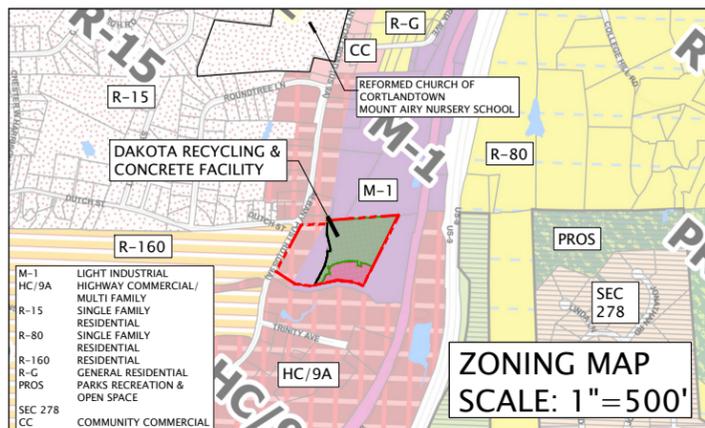
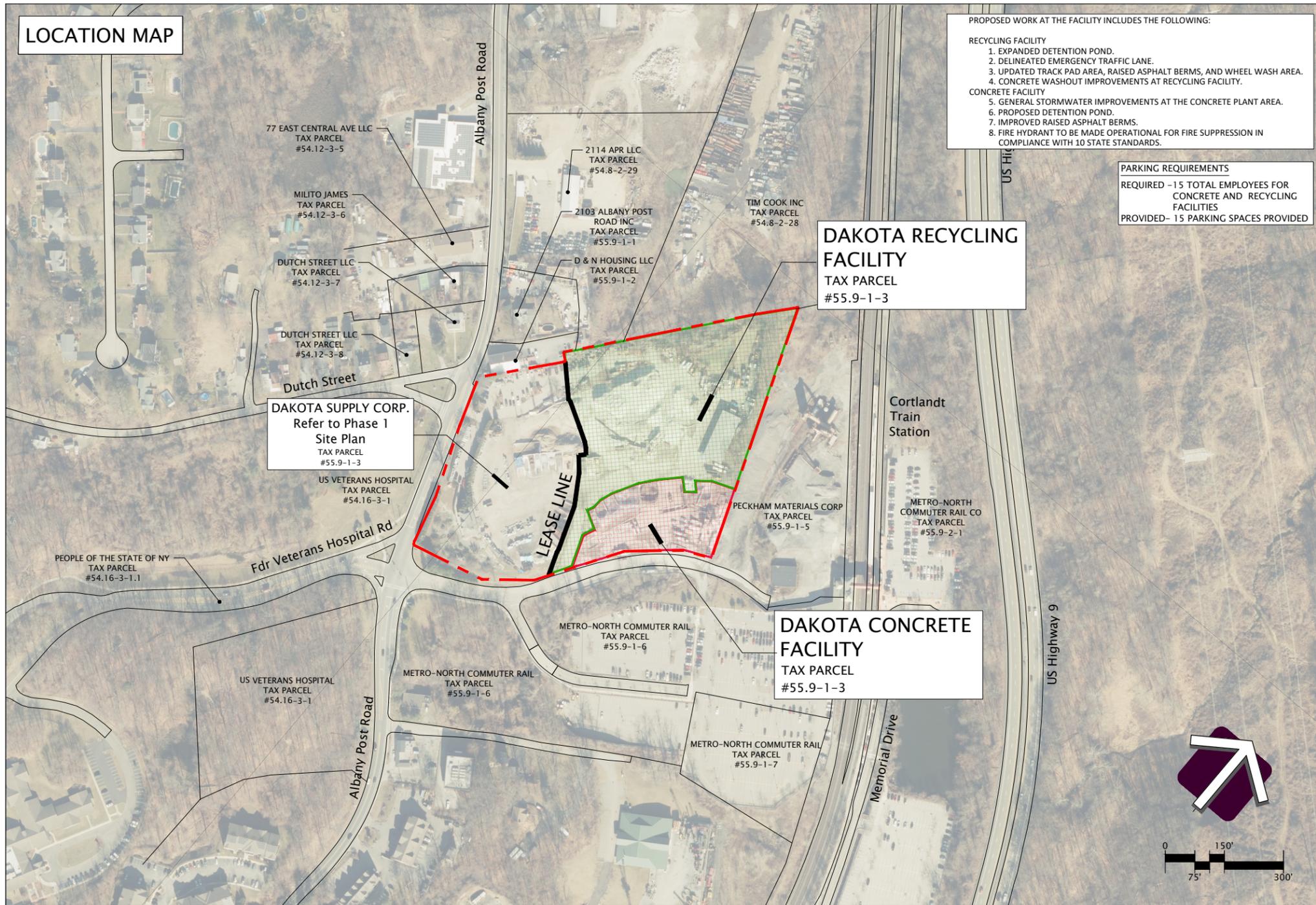
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Sheet 3 of 3

**2003 & 2025 Material
Storage Yard Comparison
Figure 3**



LOCATION MAP



NOTES:
 1. ALL CONDITIONS OF APPROVAL AS NOTED IN LETTERS OF APPROVAL OR FINDINGS BY DEPARTMENTS OR AGENCIES HAVING JURISDICTION ARE INCORPORATED INTO THE APPROVED SITE PLANS.

TOWN SIGNATURE BLOCK

LIC. NO.
 CLA SITE

LIC. NO.
 CLA SITE

**PHASE 2
 DAKOTA RECYCLING SERVICES AND DAKOTA
 CONCRETE SERVICES**

2099 Albany Post Rd,
 Westchester County, NY 10548

05-27-2025
 Revised 09-26-2025
 Revised 12-12-2025
 Revised 01-20-2026

OPERATOR/APPLICANT :

Contact: Jeff Manganello
 Thalle Industries, Inc.
 51 Route 100
 Briarcliff Manor, New York 10510
 Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester, Inc. and Briga Enterprises Inc.
 2099 Albany Post Rd,
 Montrose, NY 10548
 Phone: 914.737.7891

LEAD CONSULTANT:

58 Church Street, Suite 200
 Saratoga Springs, New York 12286
 Phone: 518.584.8661
 Fax: 518.584.8651
 Contact: Peter Loyola, RLA, ASLA

SITE PLAN DRAWING SET

DRAWING INDEX

Page No.	Sheet Title	Sheet Description
1	CLA-01	Overall Site Map
2	CLA-02	Recycling Facility Site Plan
3	CLA-03	Recycling Equipment Spread Enlargment
4	CLA-04	Recycling Equipment Emission Point Locations
5	CLA-05	Recycling Equipment Emission Point Locations
6	CLA-06	Concrete Facility Site Plan
7	CLA-07	Concrete Equipment Details
8	CLA-08	Concrete Truck Washout Layout Plan
9	CLA-9A	Plumbing Plan
10	CLA-9B	Plumbing Plan Details
11	CLA-9C	Electric Plan
12	CLA-9D	Electric Plan Details
13	CLA-10	Fire & Emergency Response Access Plan
14	CLA-11	General Details
15	STR-R1	Recycling SWPPP Drainage Plan
16	STR-R2	Recycling Detention Pond Existing Conditions
17	STR-R3	Recycling Detention Pond Proposed Conditions
18	STR-R4	Recycling Detention Pond Details
19	STR-R5	Recycling Detention Pond Details
20	STR-R6	Recycling Detention Pond Details
21	STR-C1	Concrete SWPPP Drainage Plan
22	STR-C2	Concrete Detention Pond Proposed Conditions
23	STR-C3	Concrete Detention Pond Details
24	STR-C4	Concrete Detention Pond Details
25	SURVEY	Site Survey

OPERATOR/APPLICANT :

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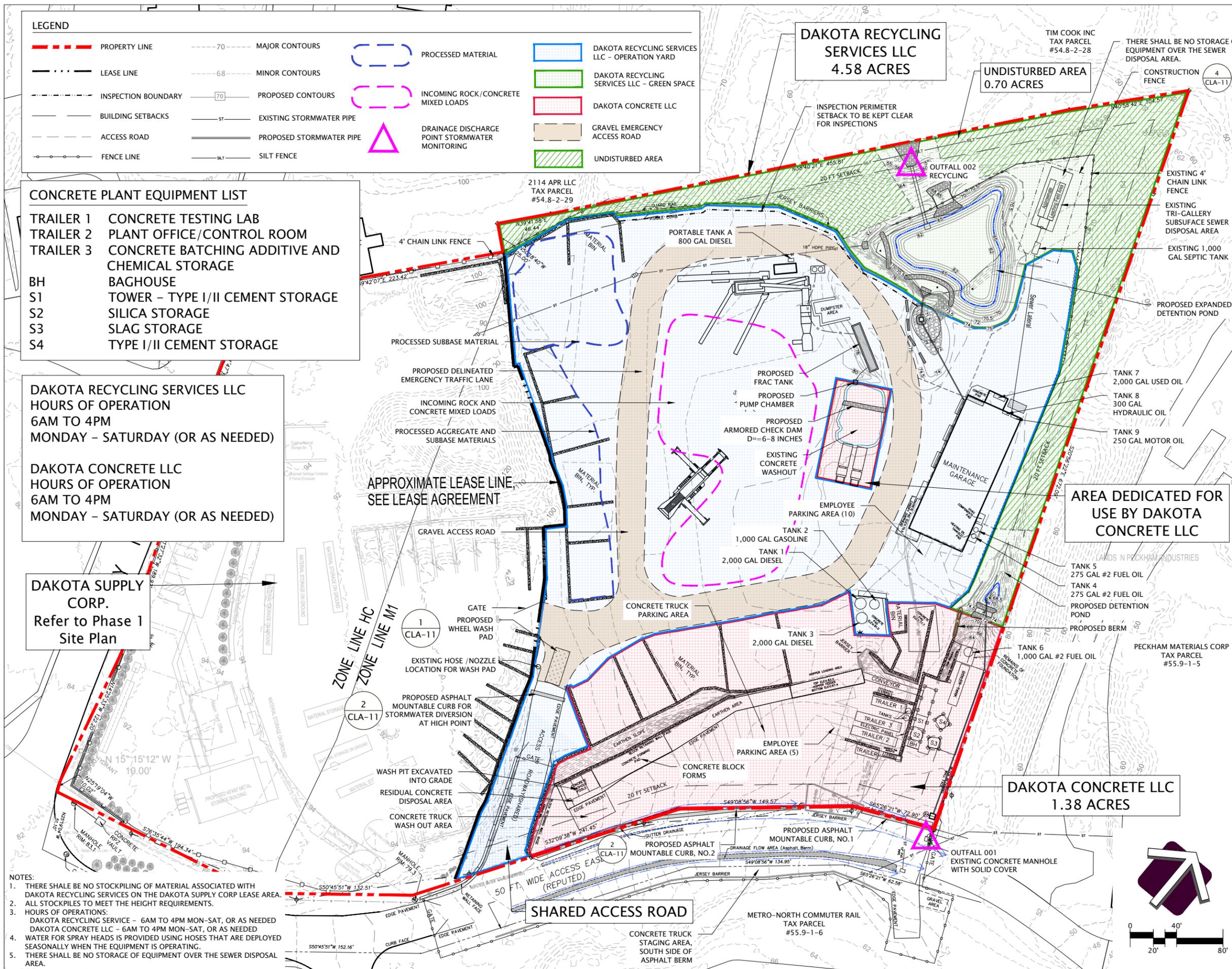
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
05/27/2025	Proposed infrastructure information update	WD
07/24/2025	Outfall Number Changed	WD
11/20/2025	Survey Update	SEM
01/20/2026	Town Engineer's Comments	SEM

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Sheet 01 of 25

**OVERALL SITE MAP
CLA-01**



OPERATOR/APPLICANT :

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Thalle Industries, Inc.
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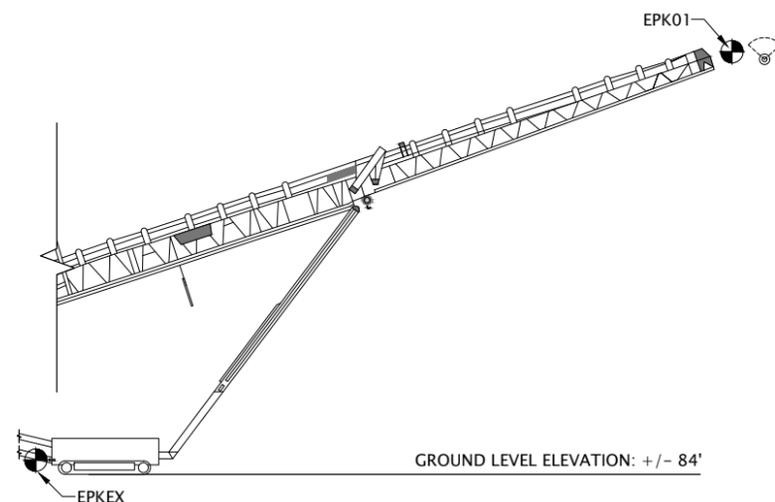
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
01/20/26	Town Engineer's Comments	WD

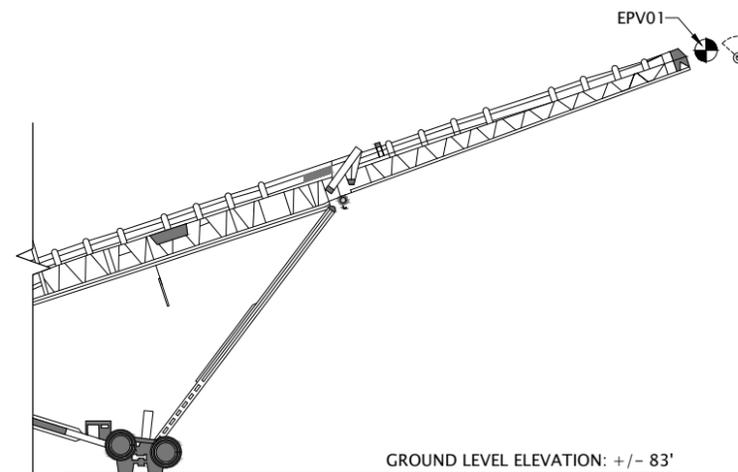
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Date: 09/04/2024 Checked By: PMA
Sheet 05 of 25

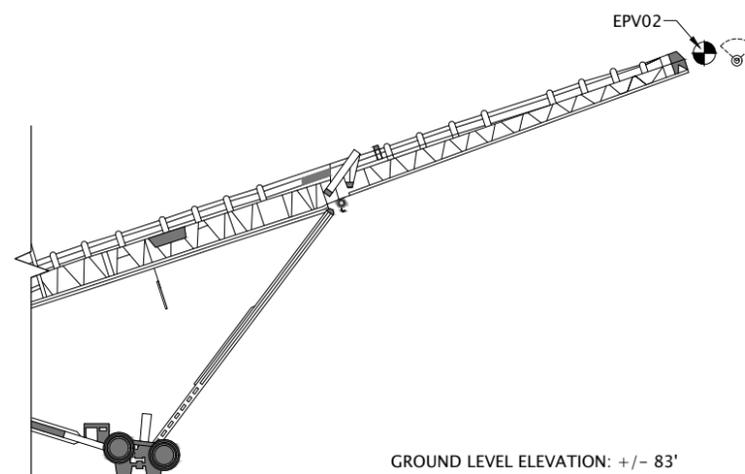
**RECYCLING EQUIPMENT
EMISSION POINT
LOCATIONS
CLA-05**



AA TS80 STACKER - SIDE VIEW
SCALE: 1" = 10'



BB 36-60 STACKER 1 - SIDE VIEW
SCALE: 1" = 10'



CC 36-60 STACKER 2 - SIDE VIEW
SCALE: 1" = 10'

LEGEND:

- DUST CONTROL SPRAYHEAD
- EMISSION POINT

Stacker Drop Point Elevations (Feet Above Ground Elevation)		
EPK01	TS-80 STACKER	20'-0"
EPV01	36-60 STACKER 1	20'-0"
EPV02	36-60 STACKER 2	20'-0"

NOTE:

1. STOCKPILES ARE GENERATED BY STACKERS AND CONVEYORS ON THE MOBILE JAW CRUSHER AND SCALPING SCREEN. AGGREGATE EMISSIONS FROM ALL STOCKPILES ARE REPRESENTED BY EMISSION POINT EPSTP.

OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

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Phase 2
Dakota
Recycling Services
and
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Concrete Services

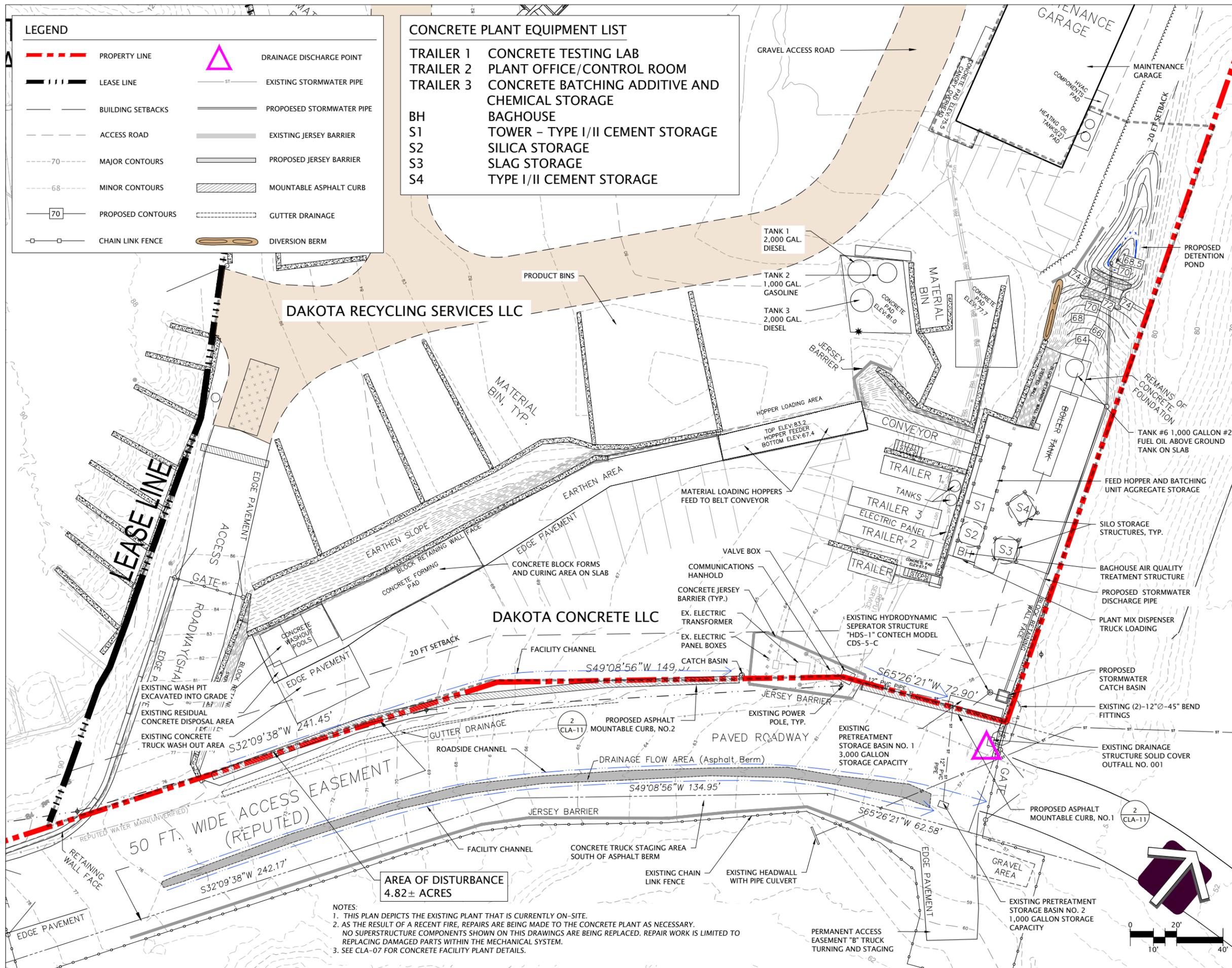
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
11/20/2025	Survey Update	SEM
01/20/2026	Town Engineer's Comments	SEM

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Sheet 06 of 25

CONCRETE FACILITY
SITE PLAN
CLA-06



LEGEND

	PROPERTY LINE		DRAINAGE DISCHARGE POINT
	LEASE LINE		EXISTING STORMWATER PIPE
	BUILDING SETBACKS		PROPOSED STORMWATER PIPE
	ACCESS ROAD		EXISTING JERSEY BARRIER
	MAJOR CONTOURS		PROPOSED JERSEY BARRIER
	MINOR CONTOURS		MOUNTABLE ASPHALT CURB
	PROPOSED CONTOURS		GUTTER DRAINAGE
	CHAIN LINK FENCE		DIVERSION BERM

CONCRETE PLANT EQUIPMENT LIST

TRAILER 1	CONCRETE TESTING LAB
TRAILER 2	PLANT OFFICE/CONTROL ROOM
TRAILER 3	CONCRETE BATCHING ADDITIVE AND CHEMICAL STORAGE
BH	BAGHOUSE
S1	TOWER - TYPE I/II CEMENT STORAGE
S2	SILICA STORAGE
S3	SLAG STORAGE
S4	TYPE I/II CEMENT STORAGE

NOTES:
 1. THIS PLAN DEPICTS THE EXISTING PLANT THAT IS CURRENTLY ON-SITE.
 2. AS THE RESULT OF A RECENT FIRE, REPAIRS ARE BEING MADE TO THE CONCRETE PLANT AS NECESSARY. NO SUPERSTRUCTURE COMPONENTS SHOWN ON THIS DRAWINGS ARE BEING REPLACED. REPAIR WORK IS LIMITED TO REPLACING DAMAGED PARTS WITHIN THE MECHANICAL SYSTEM.
 3. SEE CLA-07 FOR CONCRETE FACILITY PLANT DETAILS.

OPERATOR/APPLICANT :

Contact: Jeff Manganello
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Briarcliff Manor, New York 10510
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**Phase 2
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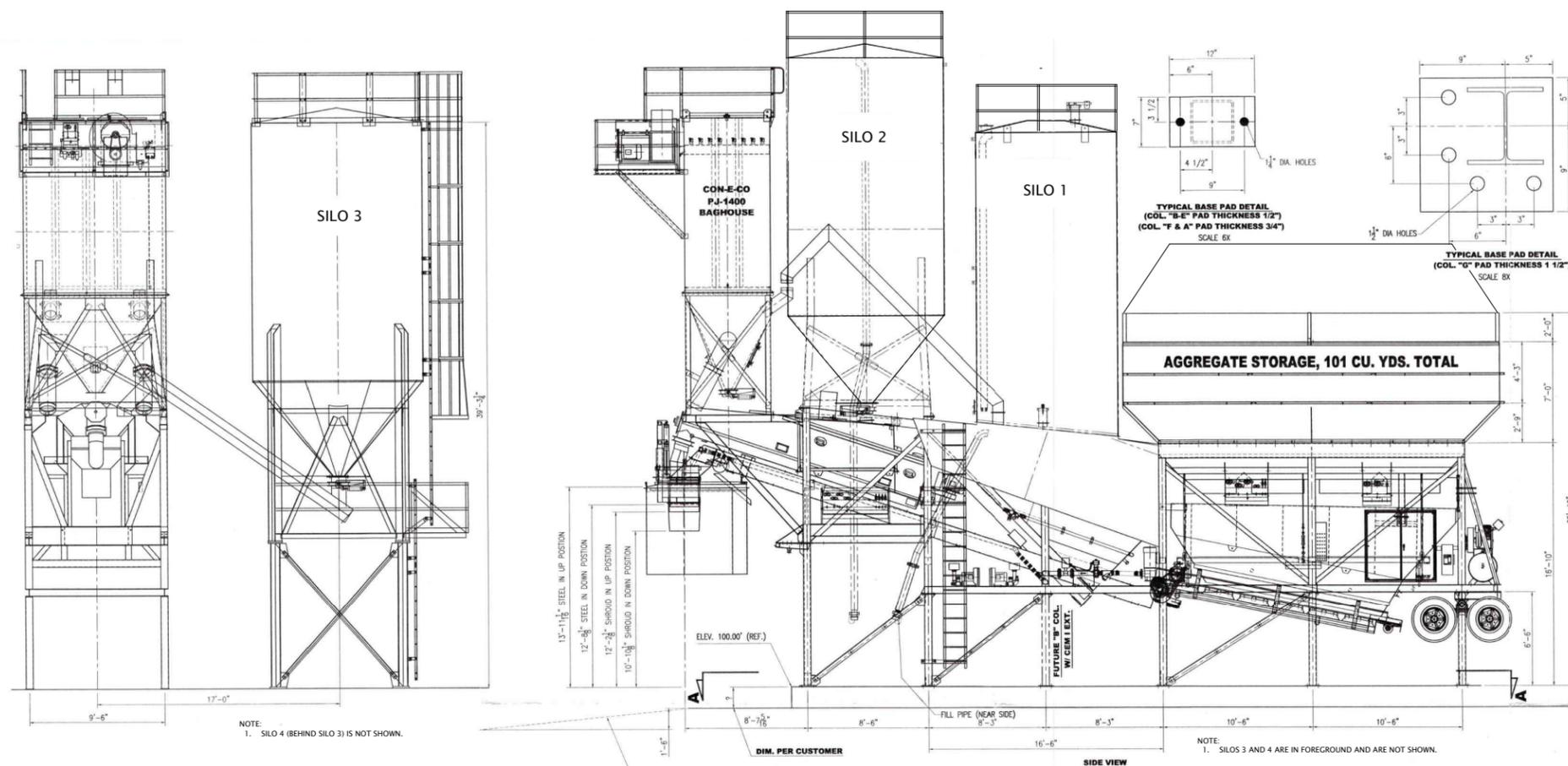
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Date	Revision	Drawn
9/8/25	CLA SITE NOTE REVISIONS	SEM

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Sheet 07 of 25

**CONCRETE EQUIPMENT
DETAILS
CLA-07**

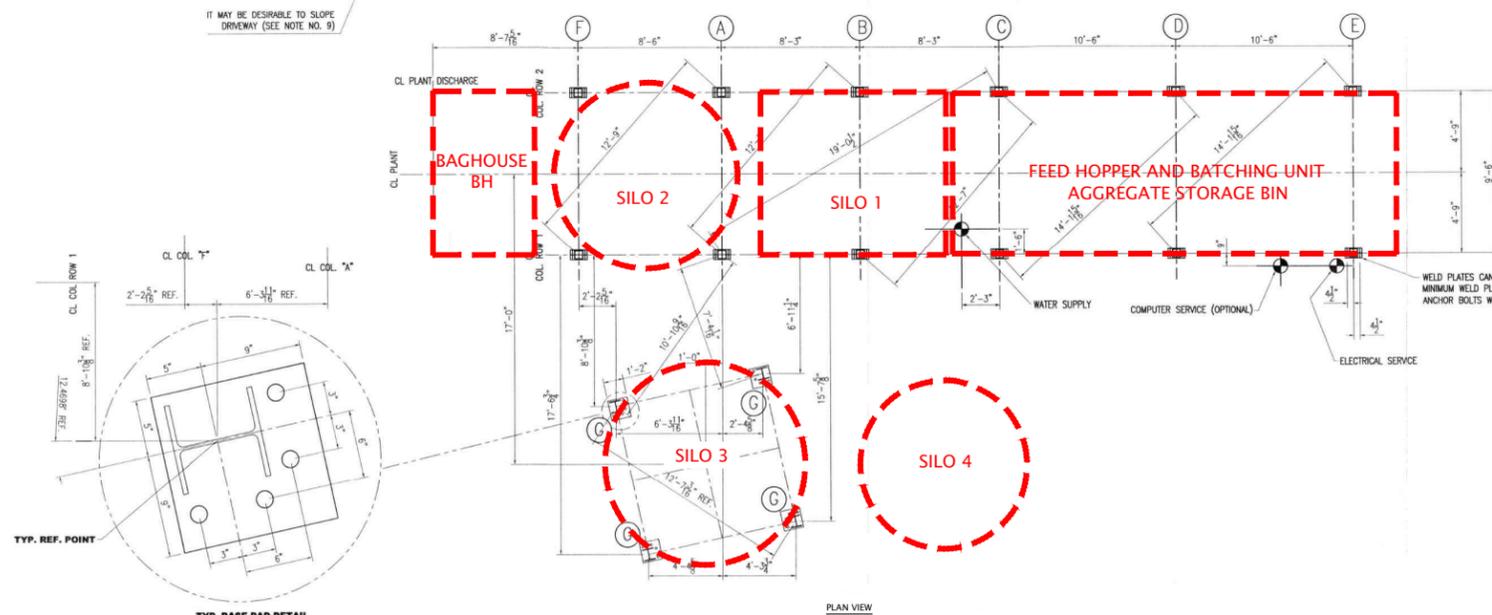


- NOTES:
- (1) k = 1000 LBS.
 - (2) ALL LOADS OCCUR AT THE BOTTOM OF BASE PLATES, TOP OF FOUNDATION.
 - (3) WIND LOADS ARE BASED ON UNIFORM BUILDING CODE (1997), 90 MPH, EXP. "C"
 - (4) CONSULT WITH A REPUTABLE PROFESSIONAL ENGINEER FOR THE DESIGN OF THE FOUNDATION.
 - (5) THE CONCRETE EQUIPMENT CO DOES NOT ASSUME RESPONSIBILITY FOR FOUNDATION DESIGN.
 - (6) IMPORTANT: IF INSTALLING PLANT IN A PERMANENT LOCATION IT MAY BE DESIRABLE TO DESIGN FOUNDATION FOR FUTURE ADD ON STORAGE MODULES. CONSULT FACTORY FOR REVISED FOUNDATION LOADINGS.
 - (7) EXTEND FOOTINGS BELOW FROST LINE.
 - (8) BE SURE TO CHECK TRUCK HEIGHT BEFORE POURING DRIVEWAY AT ELEVATION 100.0'. DUST COLLECTION HOOD GIVES 13'-11 1/4" CLEARANCE TO LOWEST POINT (STEEL) IN UP POSITION AND 10'-10 1/8" CLEARANCE TO BOTTOM OF DISCHARGE SHROUD IN DOWN POSITION WITH BASE OF PLANT AT EL. 100.0'.
 - (9) IT MAY BE DESIRABLE TO SLOPE MIXER TRUCK RAMP 18" PER TRUCK LENGTH FOR EASIER MIXER TRUCK CHARGING.
 - (10) CHARGING RAMP AND BUILDINGS SHOULD BE FREE STANDING AND NOT DEPENDENT ON THE PLANT FOR STRUCTURAL SUPPORT. CON-E-CO ASSUMES NO RESPONSIBILITY FOR DAMAGE TO A PLANT BY A CHARGING RAMP OR BUILDING.
 - (11) BASE PLATE ANCHOR HOLE SIZE MAY BE OVERSIZED FOR ANCHOR BOLT. HEAVY PLATE WASHER ARE REQUIRED.

C8001L COLUMN	INDIVIDUAL LOADS			FOUNDATION LOADS SUMMARY		
	DEAD "D"	UNBALANCED AND LIVE "L"	VERT WIND "W"	DOWNLOAD SUMMARY D+L+W	WIND W-D	UPLOAD HORIZ WIND
F1	17.1	67.9	53.9	138.9	36.8	14.9
F2	17.1	67.9	53.9	138.9	36.8	14.9
A1	4.2	67.8	30.0	102.0	25.8	12.1
A2	4.2	67.8	30.0	102.0	25.8	12.1
B1	4.9	90.7	25.2	120.8	20.3	0.0
B2	4.9	90.7	25.2	120.8	20.3	0.0
C1	6.7	81.5	27.7	115.9	21.0	15.3
C2	6.7	81.5	27.7	115.9	21.0	15.3
D1	7.0	84.0	23.2	114.3	16.2	0.0
D2	7.0	84.0	23.2	114.3	16.2	0.0
E1	5.2	50.9	20.0	76.1	14.9	9.9
E2	5.2	50.9	20.0	76.1	14.9	9.9
G 1,2,3,4	5.8	58.2	49.3	113.3	43.5	10.5

THE VALUES SHOWN ABOVE ARE IN KIPS, 1000 LB FORCE

WIND LOADS ARE CALCULATED ACCORDING TO UNIFORM BUILDING CODE (1997), 90 MPH, EXPOSURE "C"



- CLA SITE NOTES:
1. THIS PLAN DEPICTS THE EXISTING PLANT THAT IS CURRENTLY ON-SITE.
 2. CONCRETE PLANT DRAWING TITLED LP12 FOUNDATION LAYOUT PROVIDED BY CON-E-CO, CONCRETE EQUIPMENT COMPANY, DRAWING NUMBER C8001-F1, DATED 9/24/04.
 3. EQUIPMENT IN RED ADDED BY CLA SITE FOR CLARIFICATION. SAFETY RAILINGS AND HOPPER COVER ADDED TO REFLECT EXISTING CONDITIONS. SILO NUMBERS ADDED TO CORRESPOND TO SITE PLAN.
 4. SEE CLA-06 FOR CONCRETE FACILITY SITE PLAN.
 5. AS THE RESULT OF A RECENT FIRE, REPAIRS ARE BEING MADE TO THE CONCRETE PLANT AS NECESSARY. NO SUPERSTRUCTURE COMPONENTS SHOWN ON THIS DRAWINGS ARE BEING REPLACED. REPAIR WORK IS LIMITED TO REPLACING DAMAGED PARTS WITHIN THE MECHANICAL SYSTEM.

OPERATOR/APPLICANT :

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 Thalle Industries, Inc.
 51 Route 100
 Briarcliff Manor, New York 10510
 Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester, Inc.
 and Briga Enterprises Inc.
 2099 Albany Post Rd,
 Montrose, NY 10548
 Phone: 914.737.7891

**Phase 2 Dakota
 Recycling Services
 and Dakota Concrete
 Services**
 Town of Cortlandt,
 Westchester, New York

Date	Revision	Drawn
05/27/25	Base map info update	WD

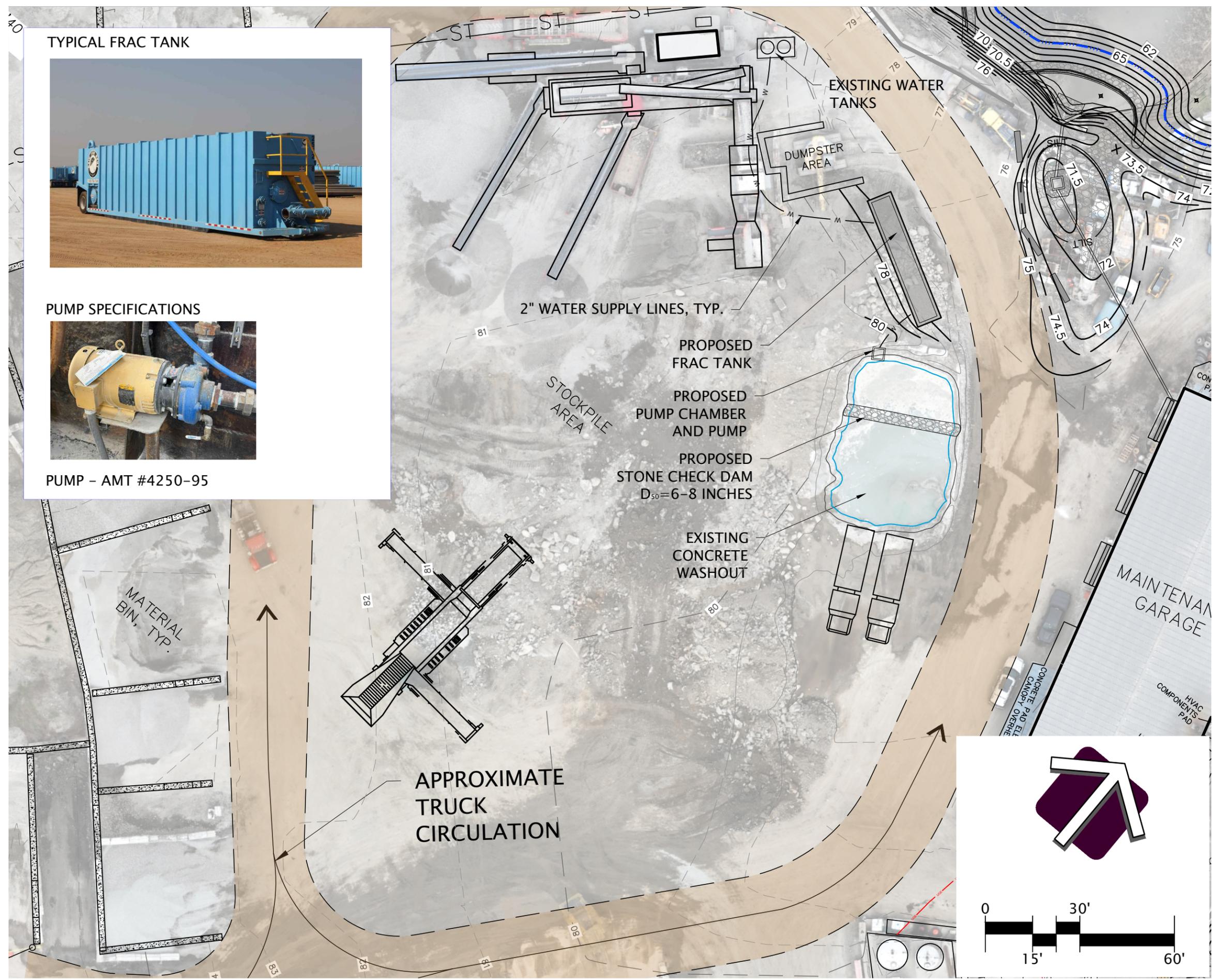
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Project No. 20-24-1104

Date: 12/20/2024

**CONCRETE TRUCK
 WASHOUT
 LAYOUT PLAN
 CLA-08**



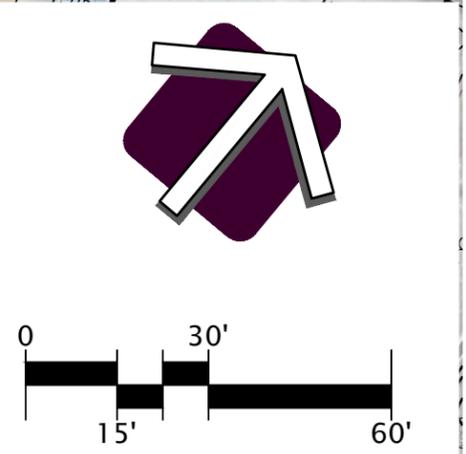
TYPICAL FRAC TANK



PUMP SPECIFICATIONS



PUMP - AMT #4250-95



OPERATOR/APPLICANT :

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Phase 2 Dakota Recycling Services and Dakota Concrete Services

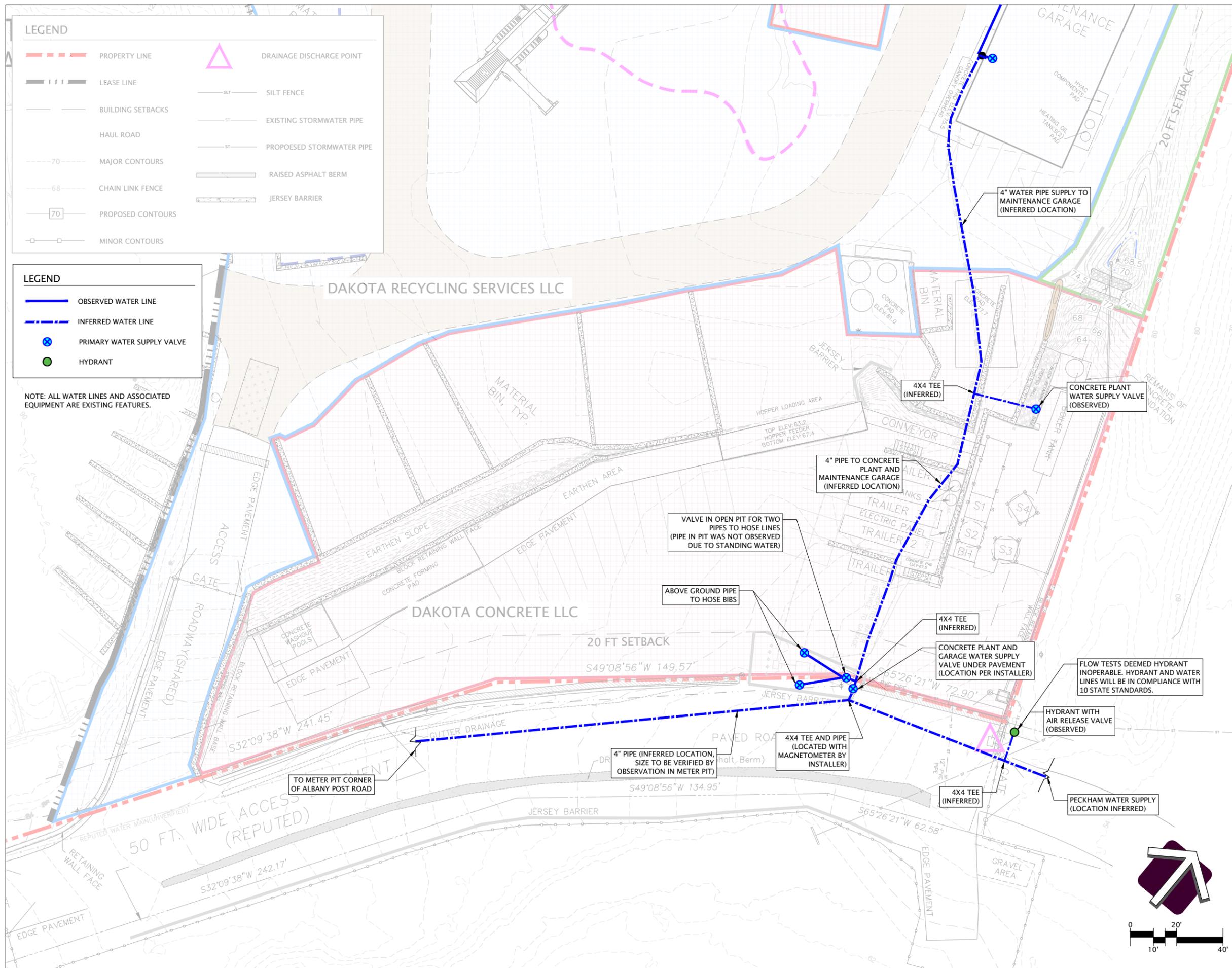
Town of Cortlandt,
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Date	Revision	Drawn
11/20/2025	Survey Update	SEM
01/20/2026	Town Engineer's Comments	SEM

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Date: 10/02/2025 Checked By: SEM
Sheet 10 of 25

PLUMBING PLAN DETAIL CLA-9B



OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester,
Inc. and Briga Enterprises Inc.
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**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

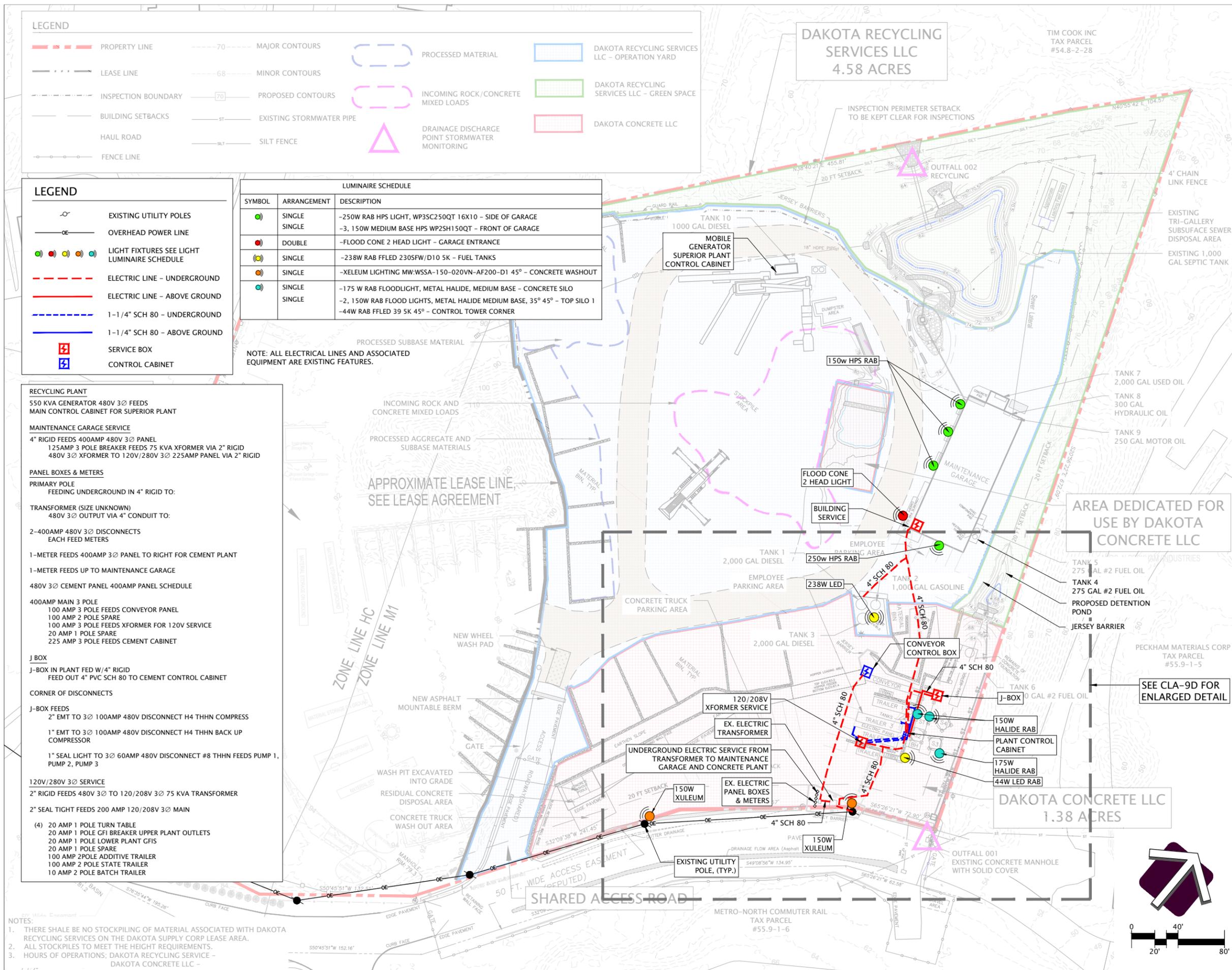
Town of Cortlandt,
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Date	Revision	Drawn
11/20/2025	Survey Update	SEM
01/20/2026	Town Engineer's Comments	SEM

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**ELECTRIC PLAN
CLA-9C**



OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

Bilotta Realty of Westchester, Inc. and Briga Enterprises Inc.
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Phase 2 Dakota Recycling Services and Dakota Concrete Services

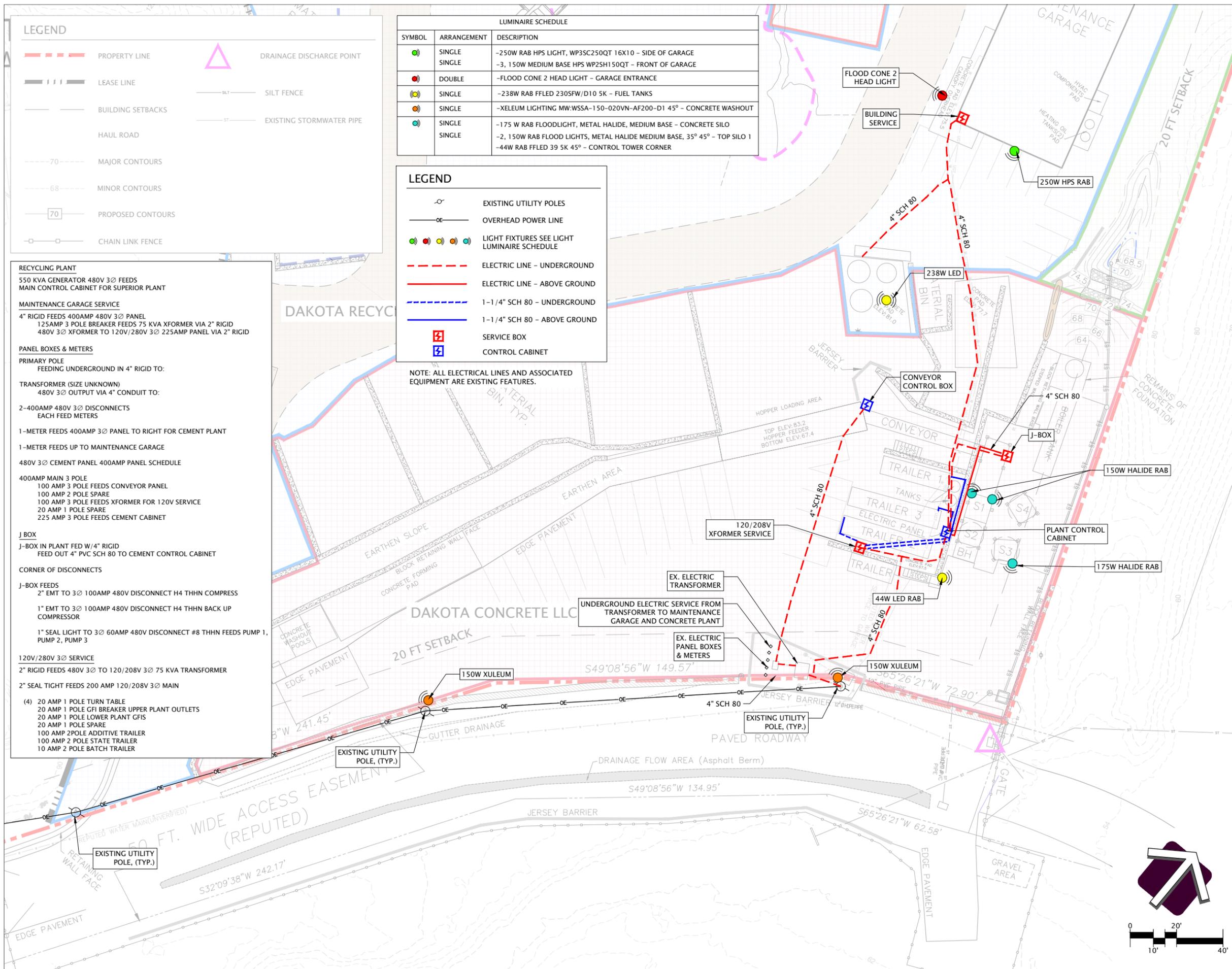
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Date	Revision	Drawn
11/20/2025	Survey Update	SEM
01/20/2026	Town Engineer's Comments	SEM

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ELECTRIC PLAN DETAIL CLA-9D



OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

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Inc. and Briga Enterprises Inc.
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**Phase 2
Dakota
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Town of Cortlandt,
Westchester, New York

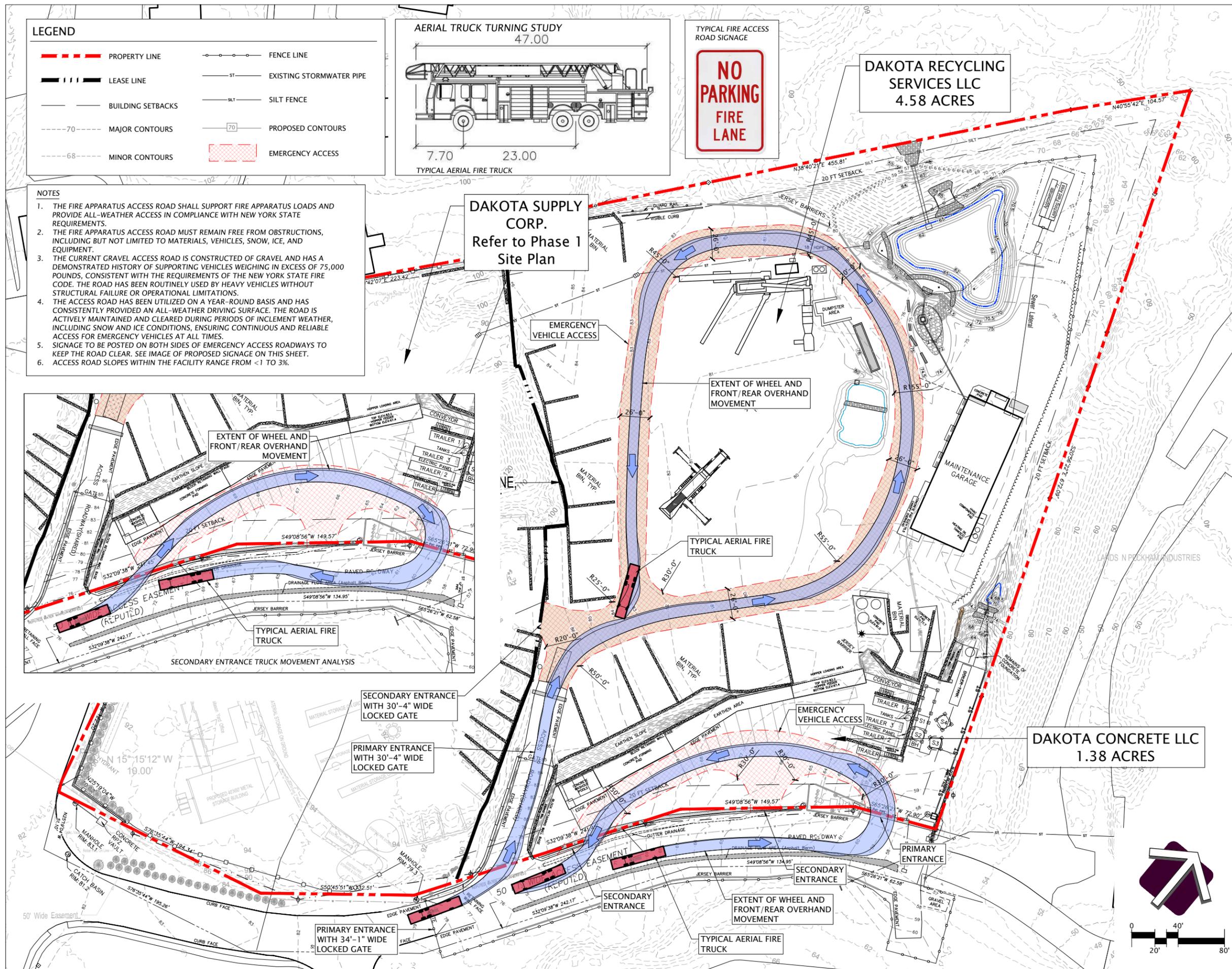
Date	Revision	Drawn
01/20/2026	Town Engineer's Comments	WD

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Date: 05/27/2025 Checked By: SEM
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**FIRE & EMERGENCY
RESPONSE ACCESS PLAN**

CLA-10



OPERATOR/APPLICANT :

Contact: Jeff Manganello
Thalle Industries, Inc.
51 Route 100
Briarcliff Manor, New York 10510
Phone: 914.762.3415

PROPERTY OWNER:

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**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn

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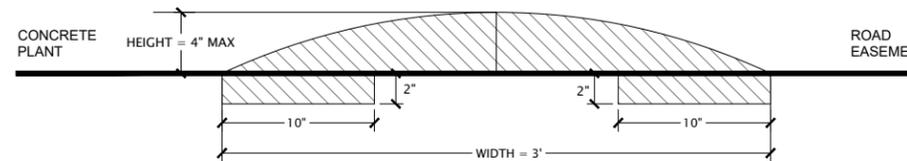
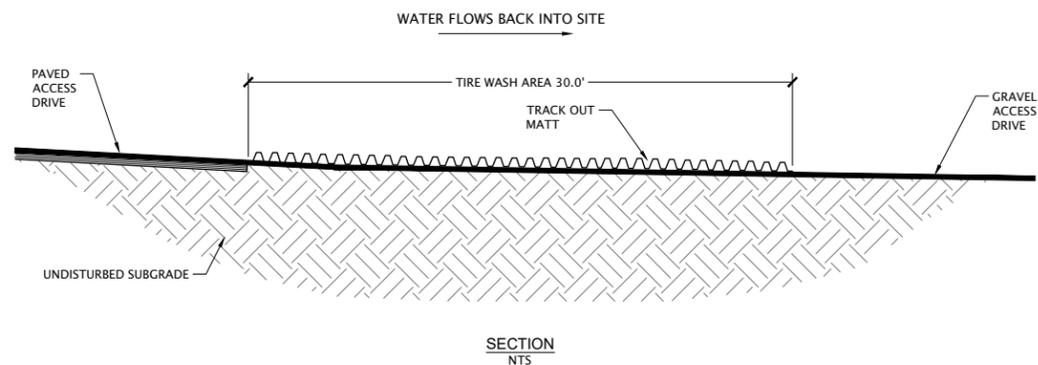
Project No. 20-1104 Drawn By: WD

Date: 01/20/2026 Checked By: SEM

Sheet 14 of 25

GENERAL DETAILS

CLA-11



2 ASPHALT MOUNTABLE CURB FOR STORMWATER DIVERSION
CLA-11 SCALE: NOT TO SCALE



TRACK OUT MATT

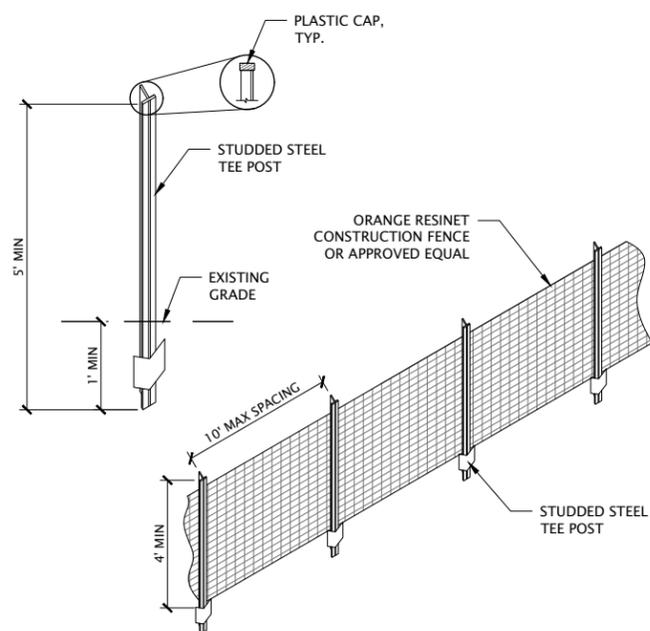
1 TIRE WASH AREA
CLA-11 SCALE: NOT TO SCALE

INSTALLATION NOTES

1. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES
2. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
3. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
4. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

MAINTENANCE NOTES

1. INSPECT BMPS EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPS SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPS AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPS IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
5. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION. MAINTENANCE . AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED/ OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



4 PLASTIC MESH CONSTRUCTION FENCE
CLA-11 SCALE: NOT TO SCALE

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**Phase 2
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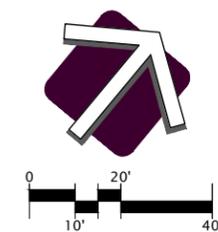
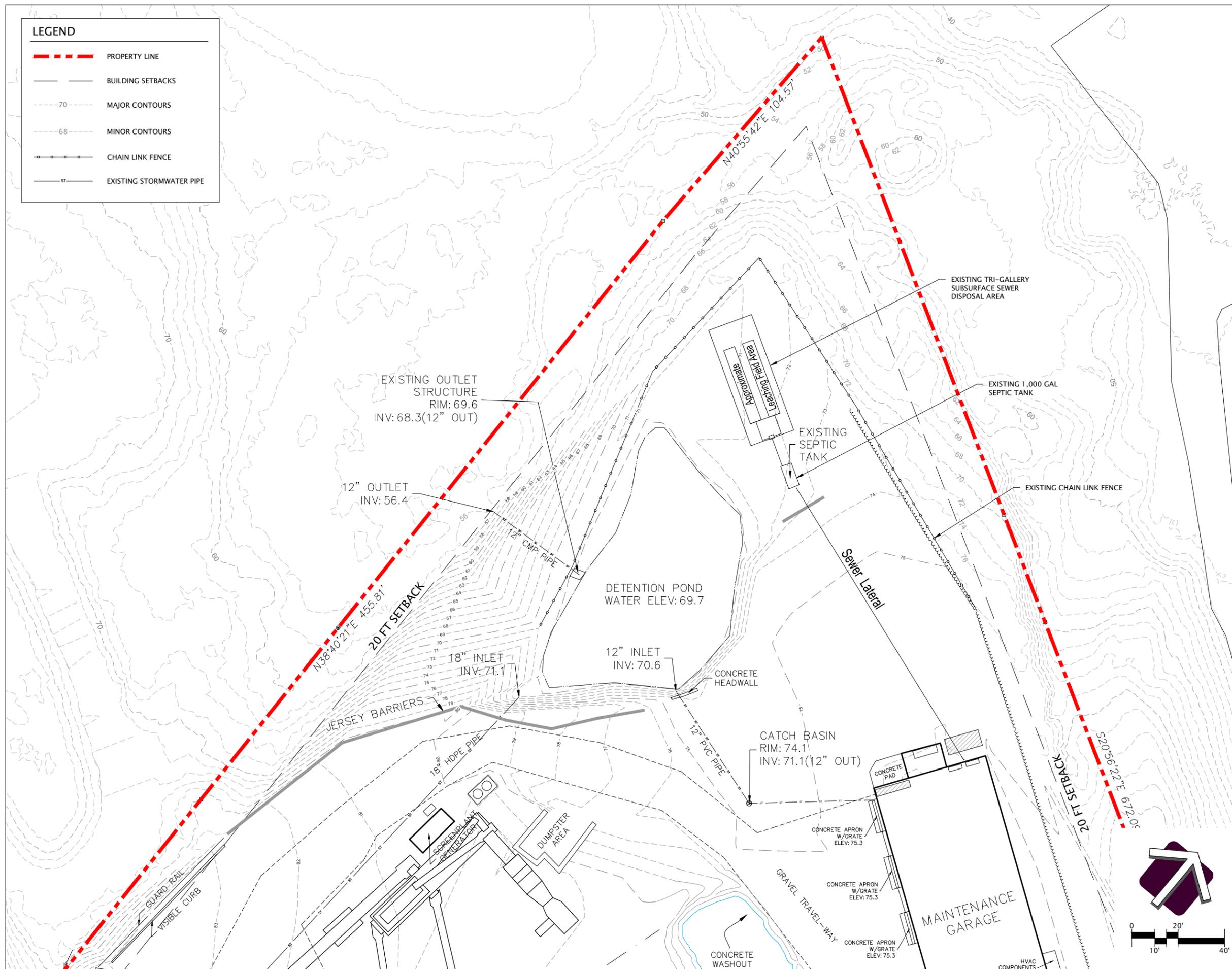
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
05/27/2025	Adding septic system information	WD
01/20/2026	Town Engineer's Comments	WD

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Sheet 16 of 25

**RECYCLING DETENTION POND
EXISTING CONDITIONS
STR-R2**



OPERATOR/APPLICANT :

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**Phase 2
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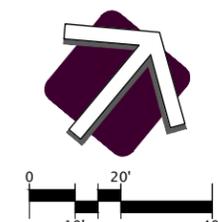
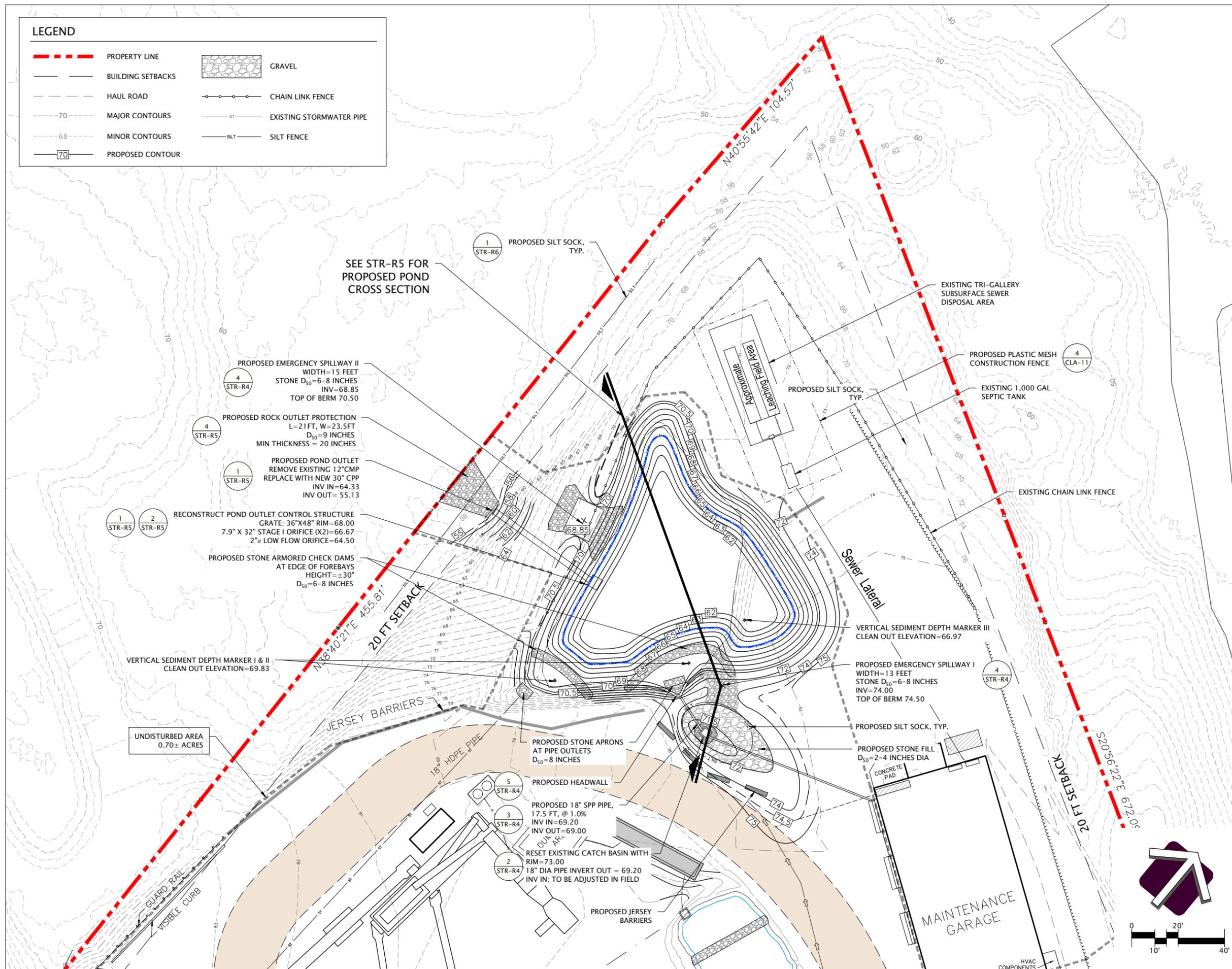
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
05/27/2025	Pond Update	WD
01/20/2026	Town Engineer's Comments	WD

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Sheet 17 of 25

**RECYCLING DETENTION POND
PROPOSED CONDITIONS
STR-R3**



OPERATOR/APPLICANT :

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Phase 2
Dakota
Recycling Services
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Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
01/20/2026	Town Engineer's Comments	WD

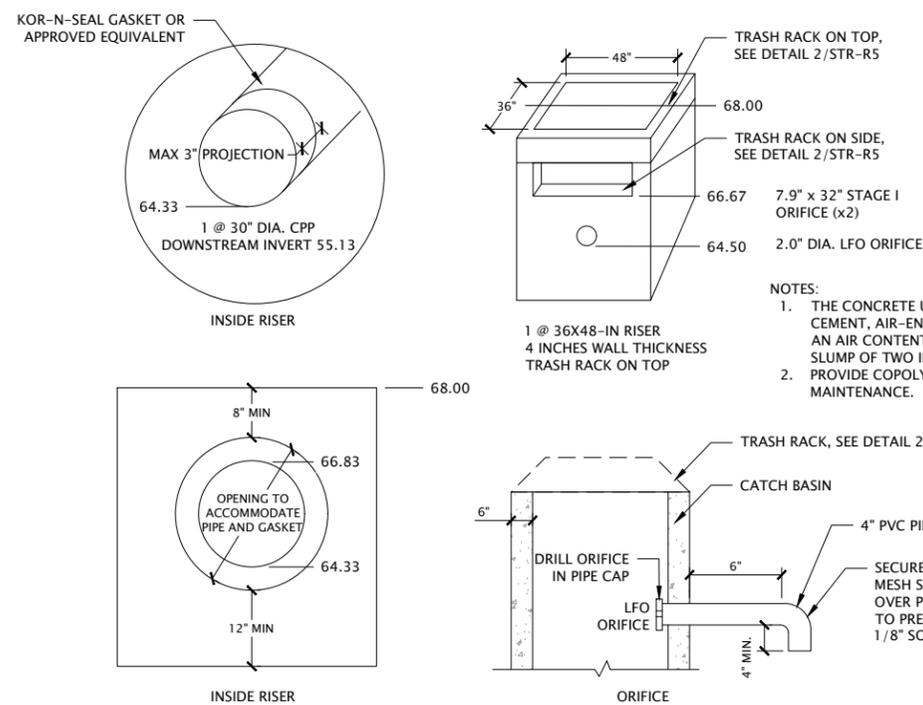
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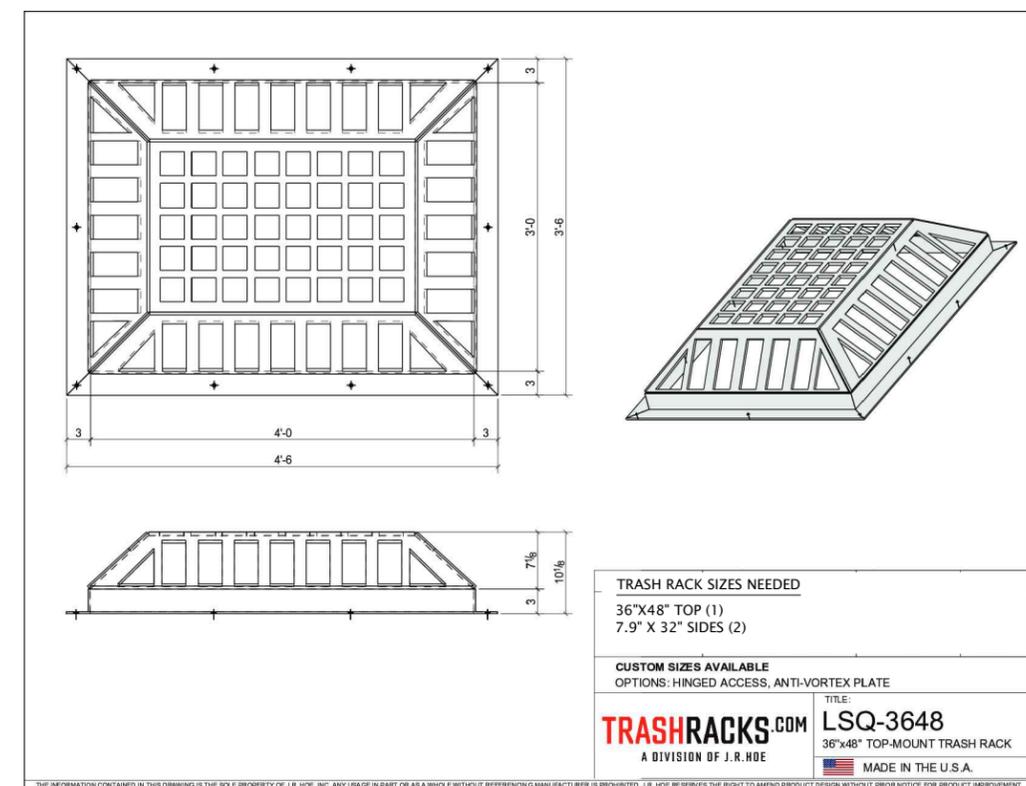
Date: 12/20/2024 Checked By: PMA

Sheet 19 of 25

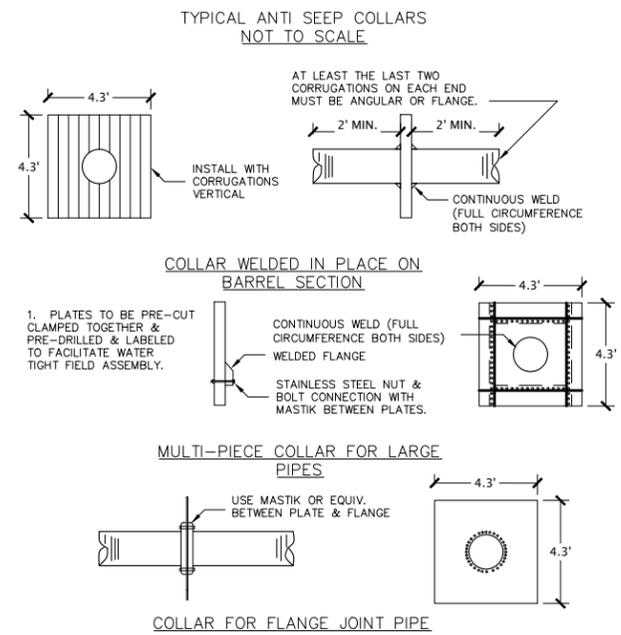
RECYCLING DETENTION
POND DETAILS
STR-R5



1 POND OUTLET CONFIGURATION
STR-R5 SCALE: NOT TO SCALE

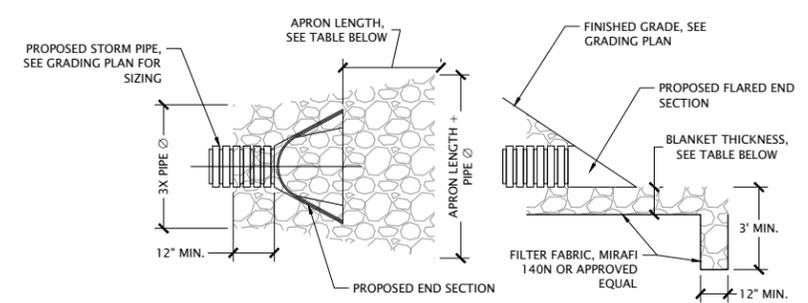


2 TRASH RACK, OR APPROVED EQUAL
STR-R5 SCALE: NOT TO SCALE



NOTES:
1. ANTI SEEP COLLAR SIZING AND QUANTITY IS BASED ON NYS STANDARDS AND SPECIFICATION FOR EROSION AND SEDIMENT CONTROL, FIGURES 5.16 TO 5.18.
2. SEE DETAIL 1/STR-R4 FOR SPACING.

3 ANTI SEEP COLLARS
STR-R5 SCALE: NOT TO SCALE



NOTES:
1. RIP RAP SIZES AND APRON LENGTHS ARE BASED ON THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."
2. RIP RAP SHALL BE COMPOSED OF A WELL-GRADED MIXTURE OF STONE. THE MINIMUM DIAMETER OF STONE SHALL BE NO LESS THAN HALF (1/2) D₅₀ AND NO GREATER THAN ONE AND A HALF (1 1/2) D₅₀.
3. LENGTH OF SLOPE PROTECTION AS SHOWN ON PLANS.

RIP RAP SIZING								
STRUCTURE	PIPE SIZE	DISCHARGE 25-YR (CFS)	PIPE LENGTH	INVERT OUT	PIPE SLOPE	RIP RAP SIZE (d ₅₀)	BLANKET THICKNESS	APRON LENGTH
	30" ∅	42.82	50.5'	55.13	18.2%	9"	20"	21'

4 ROCK OUTLET PROTECTION
STR-R5 SCALE: NOT TO SCALE

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**Phase 2
Dakota
Recycling Services
and
Dakota
Concrete Services**

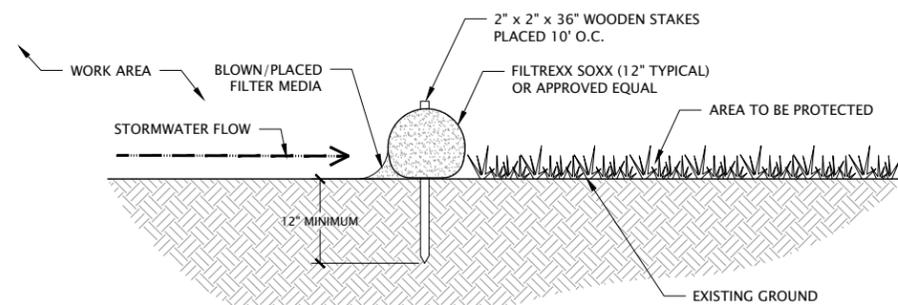
Town of Cortlandt,
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Date	Revision	Drawn

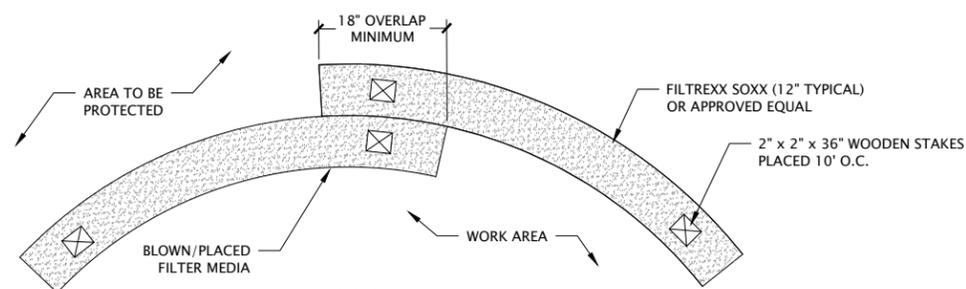
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Sheet 20 of 25

**RECYCLING DETENTION
POND DETAILS
STR-R6**



SILT SOCK SECTION NTS

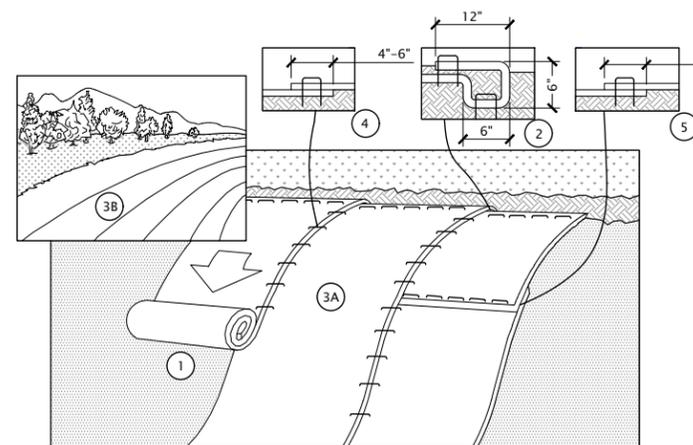


SILT SOCK PLAN NTS

NOTES:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS, OR APPROVED EQUAL.
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. SILT SOCKS TO BE REMOVED AFTER CONSTRUCTION.

1 FILTER SOCK, SILT FENCE OR APPROVED EQUAL
STR-R6 SCALE: NOT TO SCALE



2 SLOPE STABILIZATION
STR-R6 SCALE: NOT TO SCALE

NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. APPLY 4" OF TOPSOIL TO ALL DISTURBED AREAS AND SEED WITH THE FOLLOWING:

COMMON NAME	WEIGHT (%)	MIN. PURITY (%)	MIN. GERM'N (%)
KENTUCKY BLUEGRASS	65	98	85
RED FESCUE	25	98	80
PERENNIAL RYEGRASS	10	98	90

2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATION AS PER MANUFACTURER'S RECOMMENDATIONS.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOP MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
7. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OF STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
8. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.

OPERATOR/APPLICANT :

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**Phase 2
Dakota
Recycling Services
and
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Concrete Services**

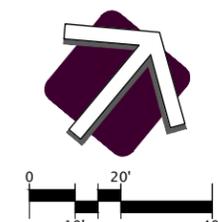
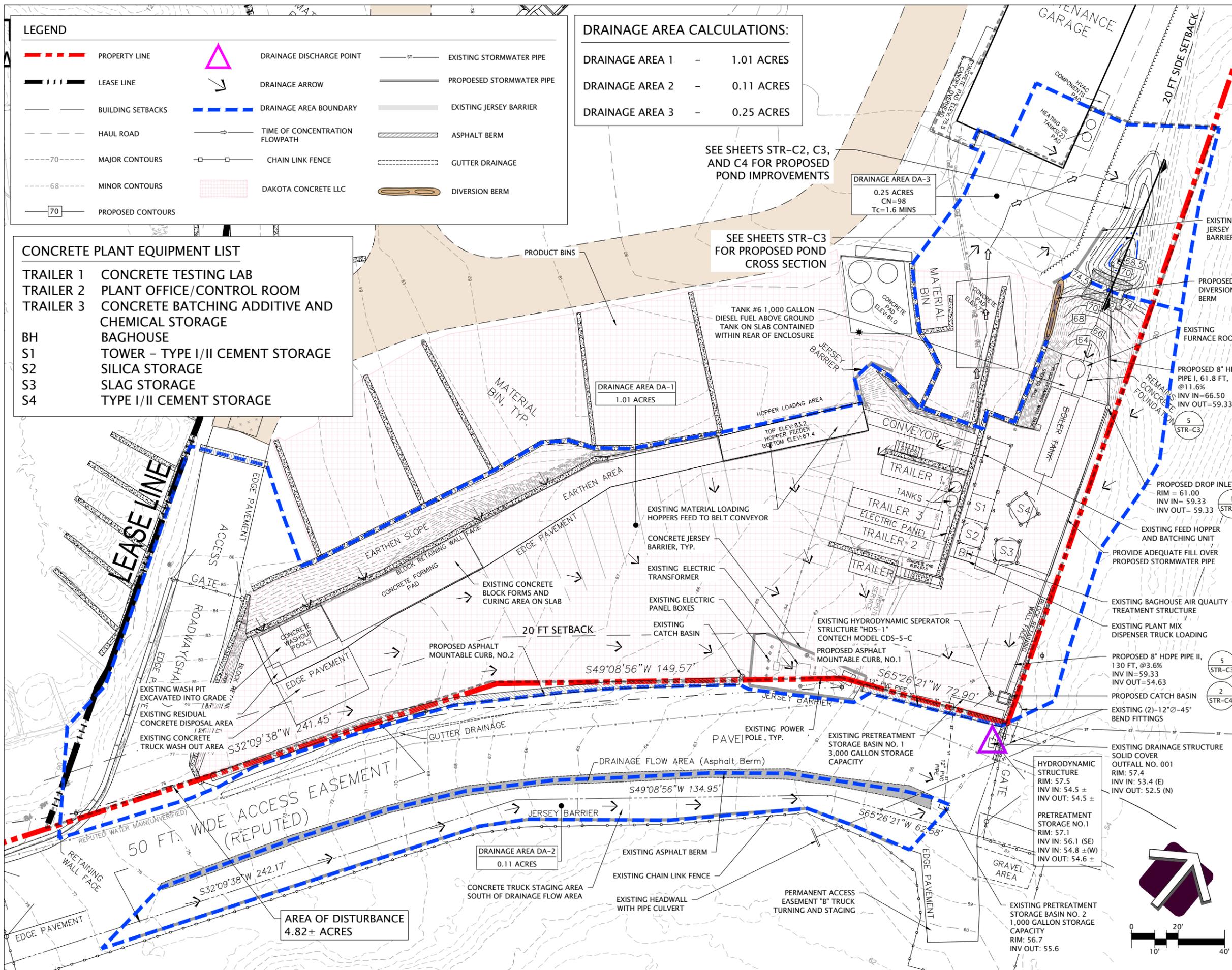
Town of Cortlandt,
Westchester, New York

Date	Revision	Drawn
04/11/2025	Adjusted text and utility pipes, other adjustments	ALG
05/27/2025	Added proposed stormwater system	WD
01/20/2026	Town Engineer's Comments	WD

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Sheet 21 of 25

**CONCRETE SWPPP
DRAINAGE PLAN
STR-C1**



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**Phase 2
Dakota
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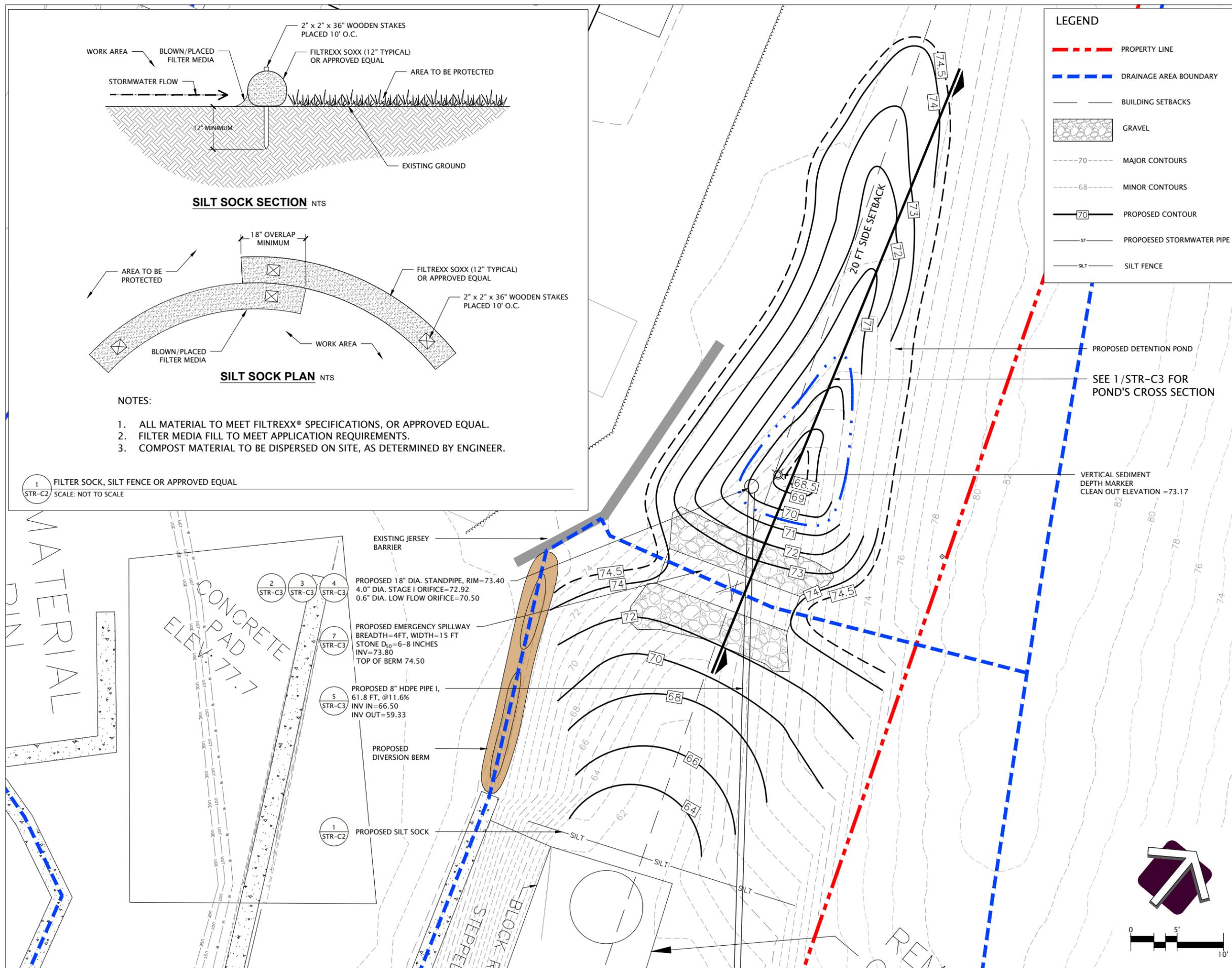
Town of Cortlandt,
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01/20/2026	Town Engineer's Comments	WD

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Sheet 22 of 25

**CONCRETE DETENTION POND
PROPOSED CONDITIONS
STR-C2**



OPERATOR/APPLICANT :

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Phase 2
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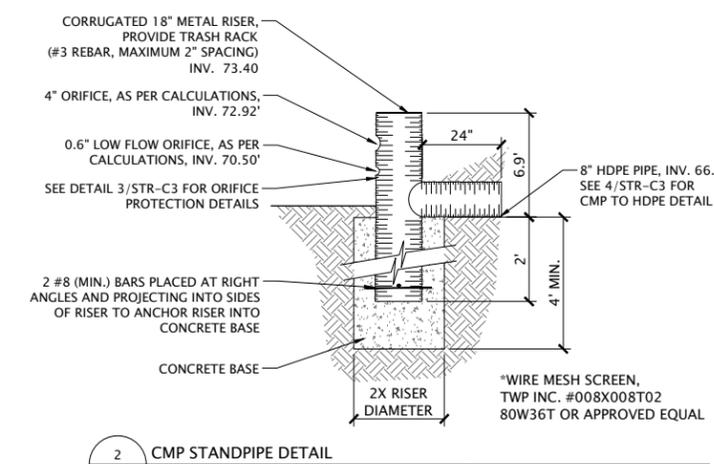
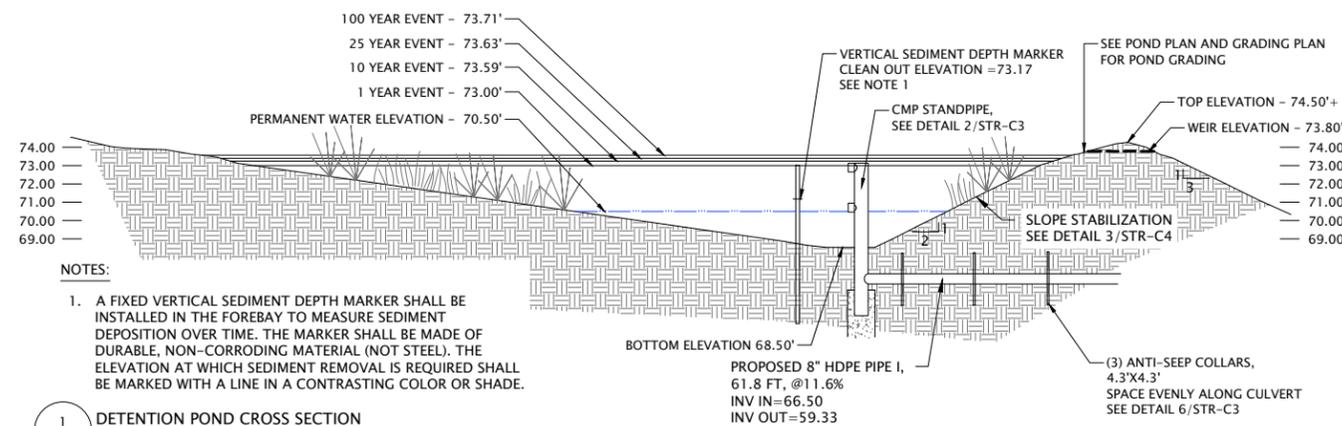
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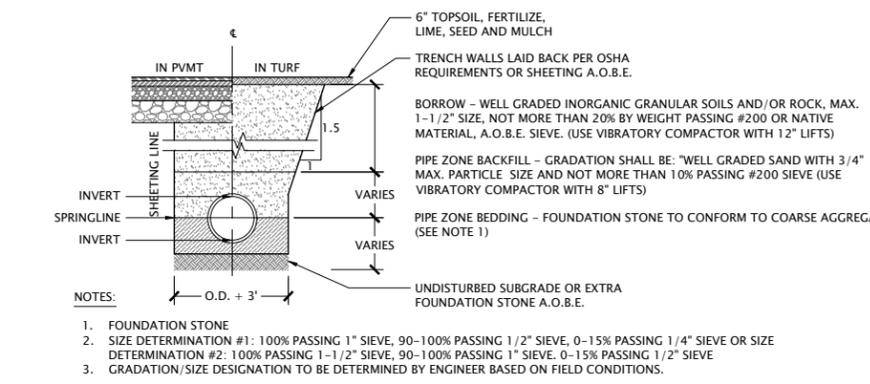
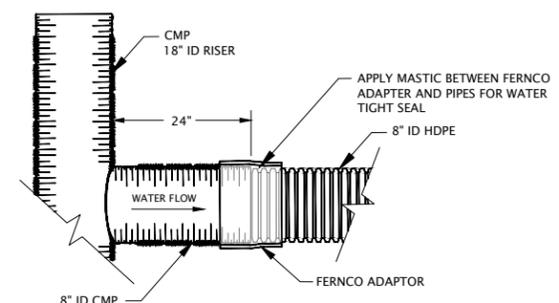
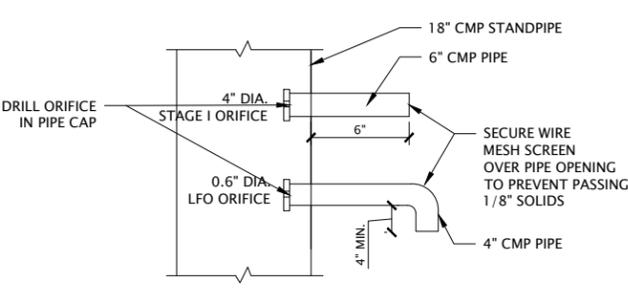
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Date: 09/30/2025 Checked By: PMA
Sheet 23 of 25

CONCRETE DETENTION POND
DETAILS
STR-C3



1 DETENTION POND CROSS SECTION
STR-C3 SCALE: NOT TO SCALE

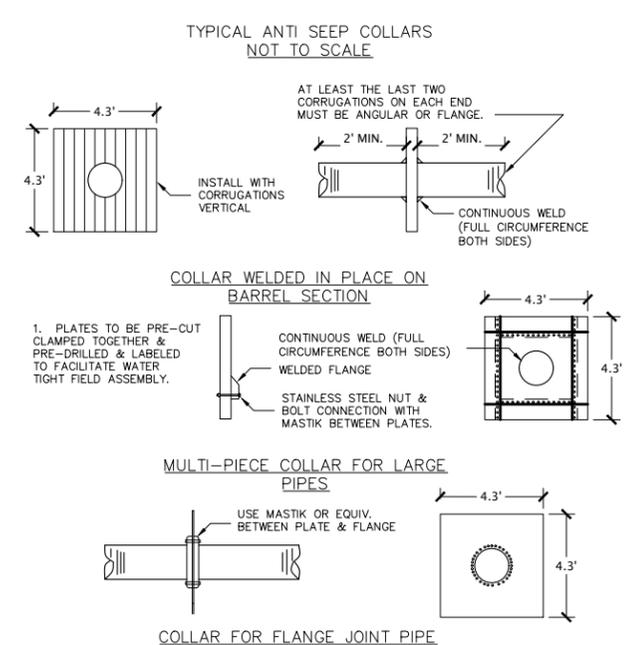
2 CMP STANDPIPE DETAIL
STR-C3 SCALE: NOT TO SCALE



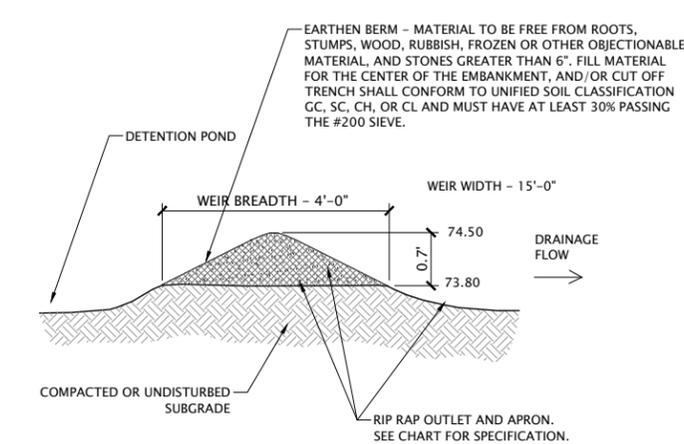
3 ORIFICE PROTECTION DETAIL
STR-C3 SCALE: NOT TO SCALE

4 CMP TO HDPE DETAIL
STR-C3 SCALE: NOT TO SCALE

5 STORMWATER PIPING TRENCH DETAIL
STR-C3 SCALE: NOT TO SCALE

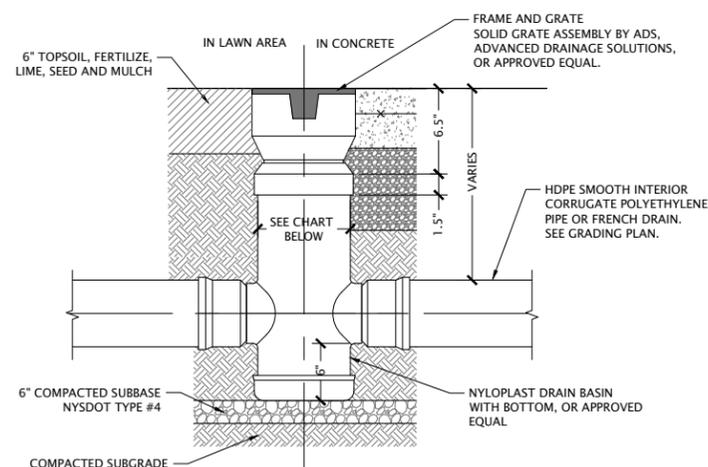


6 ANTI SEEP COLLARS
STR-C3 SCALE: NOT TO SCALE



WEIR APRON RIP RAP SIZING						
STRUCTURE	INVERT OUT	RIP RAP SIZE (d ₅₀)	BLANKET THICKNESS	APRON LENGTH	APRON WIDTH	DISCHARGE 100-YR CFS
POND WEIR APRON	73.80	6-8"	9"	8' MIN.	10' MIN.	0.00

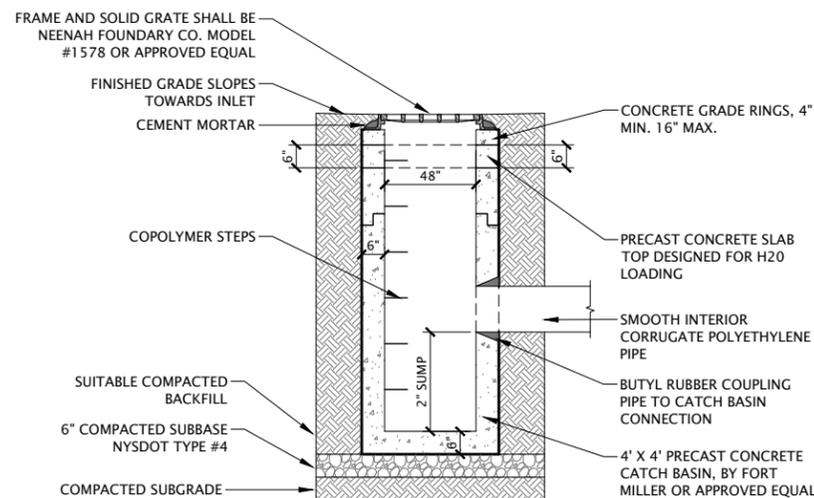
7 POND WEIR & SPILLWAY
STR-C3 SCALE: NOT TO SCALE



- NOTES:
- STRUCTURE BEDDING SHALL BE COMPACTED NYSDOT #4 CRUSHED STONE MIXTURE CONFORMING TO SECTION 703-02 OF THE NYS STANDARD SPECIFICATIONS
 - IF UNSTABLE SOILS ARE ENCOUNTERED AS DETERMINED BY THE ENGINEER, STONE BEDDING FOR THE STRUCTURE SHALL BE REQUIRED A.O.B.E.
 - PROVIDE SAFE OPERATION SHEETING IF NEEDED IN ACCORDANCE WITH NYSDOT SECTION 552
 - STRUCTURE DIAMETER AND DEPTH VARIES, SEE DRAINAGE STRUCTURE TABLE.
 - PLACE MIRAFI 140N FILTER FABRIC BETWEEN STRUCTURE TOP AND GRATE UNTIL CONTRIBUTING DRAINAGE AREA IS STABILIZED.

Structure ID	RIM	Structure Size	Inlet Pipe	Invert In	Invert Out	Outlet Pipe
1	61.00	18" Dia	8" - 61.8' @ 11.6% HDPE	8" (N) 59.33	8" (S) 59.33	8" - 130' @ 3.6% HDPE

1 DROP INLET / DRAINAGE STRUCTURE
STR-C4 SCALE: NOT TO SCALE



2 PROPOSED CATCH BASIN - CONCRETE FACILITY
STR-C4 SCALE: NOT TO SCALE

NOTES:

- STRUCTURE BEDDING SHALL BE COMPACTED NYSDOT #4 CRUSHED STONE MIXTURE
- IF UNSTABLE SOILS ARE ENCOUNTERED AS DETERMINED BY THE ENGINEER, STONE BEDDING FOR THE STRUCTURE SHALL BE REQUIRED A.O.B.E.
- PROVIDE SAFE OPERATION SHEETING IF NEEDED IN ACCORDANCE WITH NYSDOT SECTION 552
- STRUCTURE DEPTH VARIES, SEE CATCH BASIN SCHEDULE

CB NUMBER	RIM ELEV.	INVERT IN	INVERT IN	INVERT OUT	SUMP DEPTH
1	58.00	54.43 (w)	54.63 (n)	54.30 (e)	2'-0"

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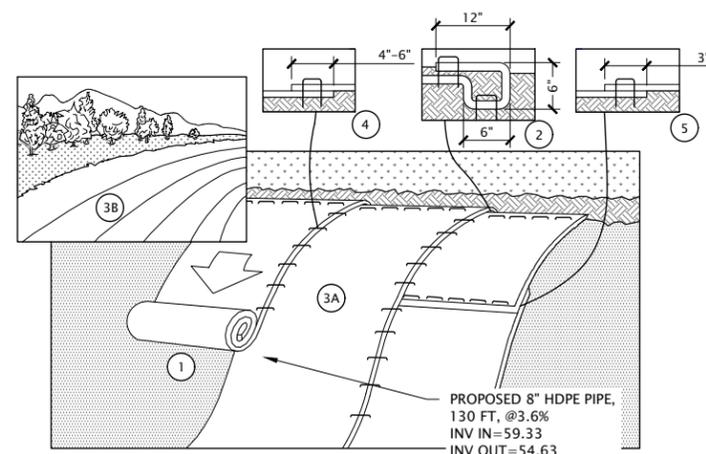
Phase 2
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Date	Revision	Drawn

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Sheet 24 of 25



NOTES:

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. APPLY 4" OF TOPSOIL TO ALL DISTURBED AREAS AND SEED WITH THE FOLLOWING:

COMMON NAME	WEIGHT (%)	MIN. PURITY (%)	MIN. GERM (%)
KENTUCKY BLUEGRASS	65	98	85
RED FESCUE	25	98	80
PERENNIAL RYEGRASS	10	98	90
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
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- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OF STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.

3 SLOPE STABILIZATION
STR-C4 SCALE: NOT TO SCALE



MAP REFERENCES:

- 1) REFERENCE AND BOUNDARY INFORMATION IS HEREBY MADE TO MAP ENTITLED, "SURVEY OF 2099 ALBANY POST ROAD," AS PREPARED BY GEORGE J. MOTTARELLA, P.E.L.S. ON DECEMBER 10, 2024 AND PROVIDED BY CLA SITE.
- 2) REFERENCE IS HEREBY MADE TO PLANS ENTITLED, "PHASE 2-DAKOTA RECYCLING SERVICES AND DAKOTA CONCRETE SERVICES-OVERALL SITE MAP," AS PREPARED BY CLA SITE ON JANUARY 22, 2025, LAST REVISED JULY 24, 2025 PROVIDED BY CLA SITE.

NOTES:

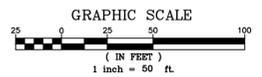
- 1) SUBJECT PARCEL: TOWN OF CORTLANDT - TAX MAP 55.009, BLOCK 1, PARCEL 3.
- 2) EXISTING CONDITIONS SURVEY PREPARED BY INGALLS & ASSOCIATES, LLP FROM AN OCTOBER 2025 FIELD SURVEY.
- 3) NORTH IS REFERENCED TO NAD 83 NEW YORK STATE PLANES, EAST ZONE. ELEVATION OR CONTOUR DATA, IF SHOWN, REFERENCED TO NAVD88 DATUM
- 4) SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTION; RECORDED OR UNRECORDED.
- 5) SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
- 6) UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON VISIBLE PHYSICAL EVIDENCE. THEY SHOULD BE CONSIDERED SCHEMATIC ONLY AND ARE SHOWN TO DEPICT GENERAL UTILITY LOCATIONS AND CONNECTIONS RATHER THAN EXACT UNDERGROUND LOCATIONS. INGALLS & ASSOCIATES, LLP MAKES NO CERTIFICATION AS TO THE ACCURACY OF THE UNDERGROUND UTILITY LOCATIONS AND OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- 7) SURVEY IS PREPARED IN ACCORDANCE WITH THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS CODE OF PRACTICE FOR LAND SURVEYS AS ADOPTED IN OCTOBER OF 1966 AND LAST REVISED ON JULY 18, 1997.
- 8) PURPOSE OF SURVEY TO SHOW EXISTING CONDITIONS ONLY. BOUNDARY INFORMATION TAKEN FROM MAP REFERENCE NO. 1.

SITE LOCATION MAP

SCALE: 1" = 2000'

LEGEND

- WOOD LATH
- IRON PIPE FOUND
- CATCH BASIN
- MANHOLE
- ELECTRIC METER
- POWER/UTILITY POLE
- WATER VALVE
- SPRINKLER HEAD
- PROPERTY LINE
- FENCE
- OVERHEAD UTILITY LINE
- EDGE OF WOODS
- STORM PIPE (APPROX.)
- WATER PIPE (APPROX.)
- UNDERGROUND ELECTRIC (MARKOUT)
- UNDERGROUND COMMUNICATIONS (MARKOUT)
- CONCRETE



NOTE: 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONTACT THE U.F.P.O. TO LOCATE ALL UNDERGROUND UTILITIES AT UDRIGN.ORG OR CALLING 811.

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

EXISTING CONDITIONS SURVEY OF
LANDS N/F BRIGA ENTERPRISES, INC.
FOR CLA SITE

ingalls & associates, LLP
engineering, environmental, surveying
116 WEST AVENUE-UNIT 102
SARATOGA SPRINGS, N.Y. 12866
PHONE: (518) 393-7725
FAX: (518) 393-2324

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 SUBDIVISION 2. OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES MADE FROM THE ORIGINAL OF THIS DRAWING BEARING AN ORIGINAL INKED OR EMBOSSED SEAL AND SIGNATURE SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

.. \JJP STAMP.jpg

JOHN J. POST, JR., L.S.
N.Y.S. LIC. NO. 050643

DRAWN BY: VCD	CHECKED BY: JJP	SCALE: 1" = 50'
DATE: OCTOBER 27, 2025	JOB NO. 25-134	
CADD FILE: 25-134 EX	SHEET 1 OF 1	

NO.	DATE:	REVISIONS	BY:
1	11/26/25	ADDED UTILITY MARK-OUT LINWORK AND SPRINKLER HEADS	VCD

Project Narrative
Prepared for
Oregon Road Subdivision
Town of Cortlandt Westchester County, NY

This project proposes a 7-lot subdivision for the existing parcels located at 1127 Oregon Road (Lot 24) and 2 Red Mill Road (Lot 25). Both lots are currently undeveloped and zoned CC – Community Commercial. Lot 24 is 2.04 acres and Lot 25 is 0.44 acres for a total subdivision area of 2.48 acres. There is an existing curb cut and paved cut through on both lots that connects Oregon Road and Red Mill Road that serviced previously demolished buildings, which will be removed. Lot 24 is heavily wooded, while Lot 25 is clear cut. The parcels along the road are flat and gradually increase in the east direction with areas of Steep Slopes in Lot 24.

In this initial submission to the Planning Board, two concept plans have been provided. Both plans propose 6 single-family residential lots and 1 multi-use retail space with 2 attached apartments. A proposed cul-de-sac off Red Mill Road will service the proposed 6 residences. The retail space will have a separate curb cut on Red Mill Road. All parcels will meet the required yard setbacks, minimum lot size, and building coverage as set in the zoning code the CC designation. A 60' wooded buffer is provided along the west property line as required by a deed restriction for 1127 Oregon Road (Lot 24). The two concept plans show two different configurations for the lots that contain the wooded buffer.

The parking provided will comply with the CC zoning code. 10 spaces have been provided for the 2,600 SF retail space based on a rate of 1 space per 300 SF, including 1 ADA space. 2 parking spaces are provided per apartment unit, totaling 14 spaces provided in the multi-use lot. 2 spaces have been provided per single family dwelling. A space has been designated for a trash enclosure for the retail building.

All proposed buildings will connect to the existing town water and sewer systems in Red Mill Road and Oregon Road. The new impervious areas will be treated and detained on site with individual lot treatments and a shared stormwater management practice to account for the cul-de-sac impacts.

Joseph C. Riina, P.E.
NYS Lic. No. 64431

January 22, 2026



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Oregon Homes Inc.			
Name of Action or Project: Oregon Homes Inc. Subdivision			
Project Location (describe, and attach a location map): Oregon Road and Red Mill Road			
Brief Description of Proposed Action: The existing lot owned by Oregon Homes Inc. is undeveloped. Oregon Homes Inc. proposes constructing a 6 home subdivision that will connect the proposed houses to Red Mill Road via a new cul-de-sac and road. In addition, a new retail space and apartments is proposed to be connected directly to Red Mill Road and will be situated adjacent to the subdivision.			
Name of Applicant or Sponsor: Oregon Homes Inc.		Telephone: 914-299-8985	
		E-Mail: mjmazzolacpa@gmail.com	
Address: 278 Route 202			
City/PO: Somers		State: NY	Zip Code: 10589
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Cortlandt (Planning Board Approval, Building Permit, Tree, and Stormwater), Westchester County Dept. of Health, Realty Subd.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 2.45 acres	
b. Total acreage to be physically disturbed?		_____ 1.71 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 2.45 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	<input checked="" type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>All construction will meet NYS energy code requirements.</u>	NO	YES	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____		
Storm water will be managed on site. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>John Gorbino</u> Date: <u>1-21-26</u>		
Signature: <u>[Signature]</u> Title: <u>SOC</u>		



LOCATION MAP
NOT TO SCALE



SITE DATA:

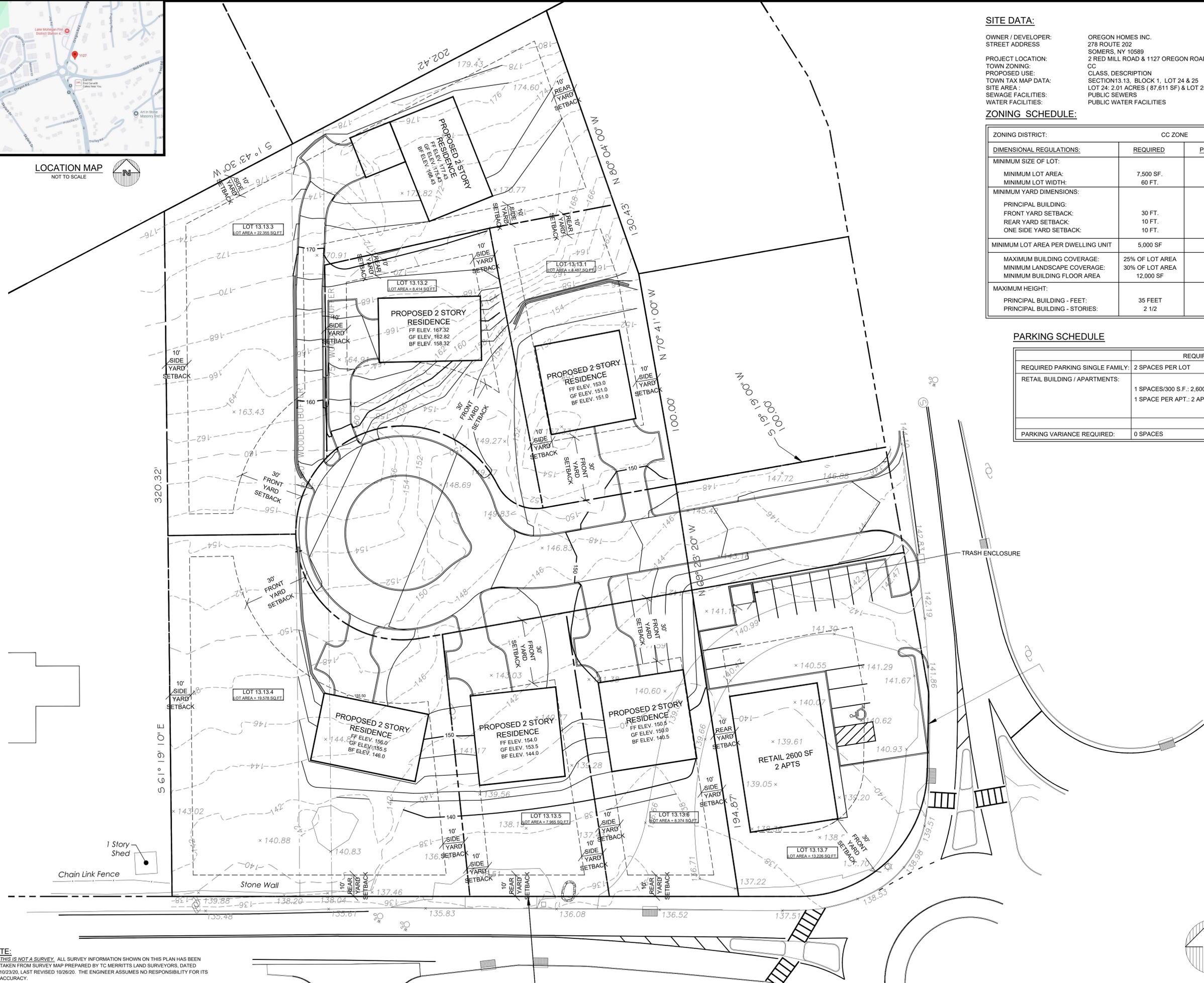
OWNER / DEVELOPER: OREGON HOMES INC.
 STREET ADDRESS: 278 ROUTE 202
 SOMERS, NY 10589
 PROJECT LOCATION: 2 RED MILL ROAD & 1127 OREGON ROAD
 TOWN ZONING: CC
 CLASS, DESCRIPTION: SECTION 13.13, BLOCK 1, LOT 24 & 25
 TOWN TAX MAP DATA: LOT 24: 2.01 ACRES (87,611 SF) & LOT 25: 0.44 ACRES (19,253 SF)
 SITE AREA: PUBLIC SEWERS
 SEWAGE FACILITIES: PUBLIC WATER FACILITIES
 WATER FACILITIES:

ZONING SCHEDULE:

ZONING DISTRICT:		CC ZONE	
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	7,500 SF.		NONE
MINIMUM LOT WIDTH:	60 FT.		NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	30 FT.		NONE
REAR YARD SETBACK:	10 FT.		NONE
ONE SIDE YARD SETBACK:	10 FT.		NONE
MINIMUM LOT AREA PER DWELLING UNIT:	5,000 SF		NONE
MAXIMUM BUILDING COVERAGE:	25% OF LOT AREA		NONE
MINIMUM LANDSCAPE COVERAGE:	30% OF LOT AREA		NONE
MINIMUM BUILDING FLOOR AREA:	12,000 SF		NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET		NONE
PRINCIPAL BUILDING - STORIES:	2 1/2		NONE

PARKING SCHEDULE

	REQUIRED	PROVIDED
REQUIRED PARKING SINGLE FAMILY:	2 SPACES PER LOT	12 SPACES
RETAIL BUILDING / APARTMENTS:	1 SPACES/300 S.F.: 2,600 SF/300 SF PER = 9 SP 1 SPACE PER APT.: 2 APTS @ 2 SP PER = 4 SP	13 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES	



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 Before You Dig, Drill or Blast!
 Call 811
 www.call811.com

NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY TO MERRITTS LAND SURVEYORS, DATED 10/23/20, LAST REVISED 10/26/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



Site Design Consultants
 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4488 - Fax: (914) 962-7386
 www.sitedesignconsultants.com



Revisions:	No.	Date	Comments

SCALE: 1" = 20'
 DRAWN BY: JCR
 DATE: 11-05-25

**SITE PLAN
 OPTION 2**

PRELIMINARY SITE PLAN
 PREPARED FOR
OREGON HOMES, INC.
 2 RED MILL ROAD - 1127 OREGON ROAD
 Town of Cortlandt Westchester County, NY

Sheet 1 of 1

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January 21, 2026

Hon. Steven Kessler
Chairman of the Town of Cortlandt Planning Board
and Members of the Planning Board
1 Heady Street
Cortlandt Manor, New York 10567

PB 2026-3

Re: VS Construction Corp. – Evergreen Manor Parcel 3 – Pharmacy & Medical Office
2003 Crompond Road

Dear Chairman Kessler and Members of the Planning Board:

On behalf of VS Construction Corp, owner of the above-referenced Property and Applicant, we hereby submit the enclosed application for Site Plan approval and associated Wetland Permit, Tree Removal Permit, and Steep Slope Permit to permit the construction of an approximately 9,600 square foot building containing an 8,000 square foot pharmacy and a 1,600 square foot medical office use (the “commercial building”), as permitted in the Medical Oriented District (MOD) Zoning District. The commercial building and 43 at-grade parking spaces will be situated on an approximately 2-acre parcel (future Parcel 3) fronting on Crompond Road (Routes 35/202) and Lafayette Avenue accessed from a driveway from the proposed Evergreen Manor roadway. An emergency accessway will be provided from Lafayette Avenue.

To initiate this Site Plan review process, please find enclosed the following:

- Short Environmental Assessment Form (SEAF), prepared by DTS Provident Design Engineering, LLP (DTSP) dated January 21, 2026
- Site Plan drawings, prepared by DTSP dated January 21, 2026
- Architectural Elevations, prepared by BHC Architects, dated January 20, 2026

This Site Plan application is made in connection with previous applications for development of this Property, as well as a previously completed SEQRA review. In addition to this Site Plan for the commercial building, the Applicant will be filing an application for Subdivision approval to further subdivide the Property to create the subject lot. We respectfully ask that this Application be added to the Planning Board’s February 3, 2026 meeting agenda for an initial presentation.

Chairman Kessler and Members of the Planning Board
Re: Evergreen Manor Parcel 3 – Pharmacy/Medical Office

January 21, 2026
Page 2

Very truly yours,

DTS PROVIDENT DESIGN ENGINEERING, LLP

A handwritten signature in black ink, appearing to read 'M. Steinberg', written in a cursive style.

Matthew N. Steinberg, AICP
Senior Associate

Enclosure(s)

cc: VS Construction, Zarin & Steinmetz, BHC Architects

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

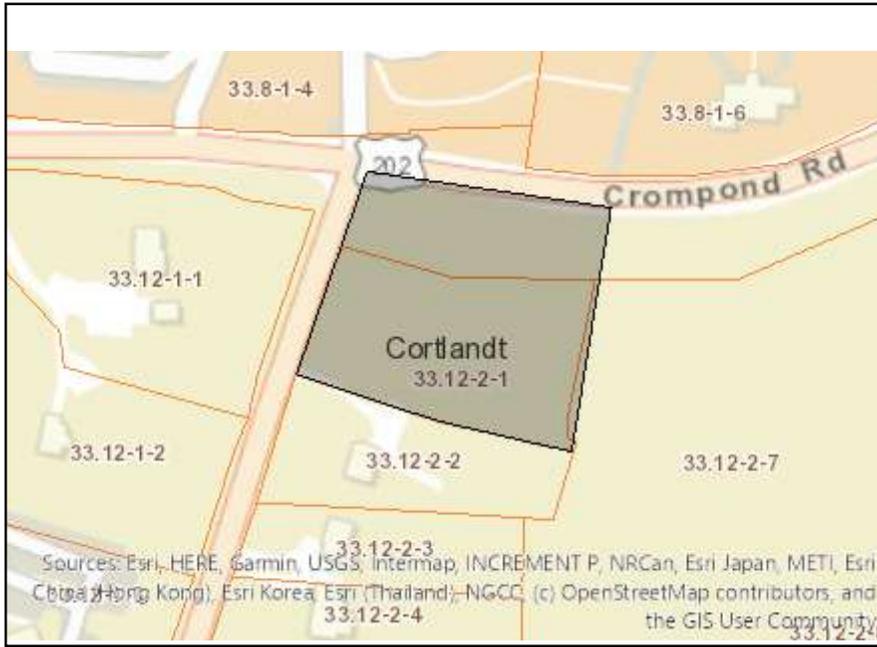
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Evergreen Manor - Parcel 3			
Project Location (describe, and attach a location map): 2003 Crompond Road, Town of Cortlandt, Westchester County			
Brief Description of Proposed Action: Proposed approximately 9,600 square foot commercial building, at-grade parking, utility improvements, and landscaping on an approximately 2-acre parcel (Parcel 3) of the Evergreen Manor project fronting on Crompond Road (Routes 35/202) and Lafayette Avenue.			
Name of Applicant or Sponsor: VS Construction Corp.		Telephone: 914-447-4587	
		E-Mail: mandysantucci@aol.com	
Address: 37 Croton Dam Road			
City/PO: Ossining		State: NY	Zip Code: 10562
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Cortlandt PB: Site Plan Approval, Steep Slopes, Wetlands, Tree Removal; NYSDOT: Highway Work Permit; Westchester County: Realty Subdivision, Water and Sewer approvals; NYSDEC: SPDES Stormwater General Permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 2 acres	
b. Total acreage to be physically disturbed?		_____ ±1.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 28.3 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Institutional/Hospital			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	*Traffic improvements are proposed based on Findings Statement adopted by TB in March 2023
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	+
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ As part of proposed Evergreen Manor project, approximately 0.35 of existing wetlands will be disturbed. Mitigation proposed in the form of approximately 0.82 acres of wetland creation/expansion along with buffer enhancement and invasive species removal. _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ Stormwater will be directed to practices such as bioretention basins and underground infiltration basins, which will be used to treat stormwater runoff from walks, driveways and parking areas.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: VS Construction Corp. _____ Date: 1/21/26 Signature:  _____ Title: Senior Associate DTS Provident Design Engineering, LLP		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

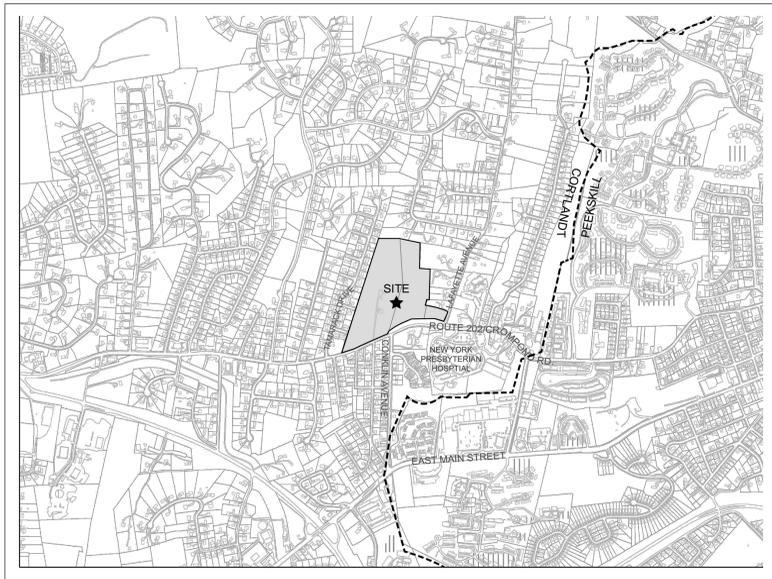
2003 Crompond Road

(TAX LOT: 33.12-2-7, 33.12-2-1)
Town of Cortlandt, New York

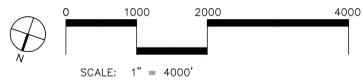
Site Plan Application - Parcel 3

January 21, 2026

LOCATION MAP



BASE MAP SOURCE: WESTCHESTER GIS



ZONING TABLE

Code Section	MEDICAL ORIENTED DISTRICT (MOD)	REQUIRED/ PERMITTED	PROPOSED	
			Lot 3	Evergreen Manor
307-96.2	Medical Oriented District (MOD)			
C(1)(a)	Dimensional Requirements			
	Minimum lot area (SF) ⁽¹⁾	100,000	N/A	1,235,294
	Minimum lot width (ft)	100	167	--
	Setbacks			
	Front (ft)			
	Crompond Road (Route 35/202)	30	91	--
	Lafayette Avenue	30	121	--
	Side (ft) Crompond Road (Route 35/202)	30	431	--
	Side (ft) Lafayette Avenue	30	30	--
	Rear (ft)	30	N/A	--
	Maximum Lot Coverage (%)⁽²⁾	60	N/A	36% ⁽³⁾
	Height (ft)	45	21	--
C(3)(b)	Parking Requirement			
	Pharmacy (not accessory to hospital) - 1 space for every 250 square feet	31 (for 8,000 sf)	32	--
	Office Medical - 1 space for every 150 square feet	11 (for 1,600 sf)	11	--
	Total	43	43	
C(5)(a)	Minimum Area of Nondisturbance (ft)			
	Minimum from nearest lot line of a parcel on Cypress Lane, Nancy Lane, Ridge Road, Tamarack Drive	100	N/A	100
	Minimum from nearest lot line of a parcel on any other adjacent street with an existing residential unit	30	30	30

⁽¹⁾ Per § 307-96.2C(4)(a) The creation of internal property subdivisions within a mixed-use development is permitted to allow for multiple ownership of properties/uses. Any eligible site hereunder may, for purposes of dedication, the creation of rights-of-way, sale, lease, mortgage, or other disposition or financing, be subdivided or re-subdivided, converted to condominium or cooperative ownership, or otherwise divided into lots, parcels or tracts, which may be sold, leased, mortgaged, or otherwise alienated or encumbered, without regard to minimum lot area provided that at least one development from the original lot prior to subdivision is developed as a medical use.

⁽²⁾ Per § 307-96.2C(4)(b) If a site meets the eligibility requirements above, then all determinations relating to lot coverage and building coverage for any lot or lots subject to internal property subdivision hereunder shall be made treating the entire site as a single unit; provided, however, that access and infrastructure shall be shared by any lot approved under this section. Reciprocal easements and/or agreements that address common access, shared parking, stormwater systems, and utilities shall be developed to ensure the future operation and maintenance of the infrastructure servicing any lot or lots approved hereunder.

⁽³⁾ Lot coverage calculated based on Site Development Plan applications for Lot 1 (assisted living residence) and Lot 3 (commercial) and master plan for Lot 2 (townhouses)

LIST OF DRAWINGS

No.	Name	By	Scale	Date
	COVER SHEET	DTSP		01/23/25
SP-1.0	SITE LAYOUT PLAN	DTSP	1" = 30'	01/23/25
SP-2.0	SITE GRADING AND DRAINAGE PLAN	DTSP	1" = 30'	01/23/25
SP-3.0	SITE UTILITY PLAN	DTSP	1" = 30'	01/23/25
SP-4.1	SITE LANDSCAPE PLAN	DTSP	1" = 30'	01/23/25
	SURVEY	TCM	1" = 20'	01/23/25

LEGEND

DTSP DTS PROVIDENT DESIGN ENGINEERING, LLP
TCM DANIEL T. MERRITTS, PLS

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37 CROTON DAM ROAD
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Town of Cortlandt, New York

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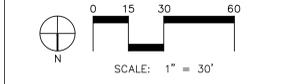
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NOT FOR CONSTRUCTION

NO.	DATE	ISSUE
1	01/21/2026	SITE PLAN APPLICATION

**PARCEL 3 -
SITE LAYOUT PLAN**


 DRAWN BY: ST/RC/TK
 PROJECT NO.: 812
 DATE: 01/21/25
 DRAWING NO.: SP-1.0
 CHECKED BY: GMS/MG
 EXPIRES 7/31/26



EVERGREEN MANOR
Town of Cortlandt, New York

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REVISIONS/ISSUANCES	NO.	DATE	ISSUE
1	01/21/2026	SITE PLAN APPLICATION	

**PARCEL 3 -
SITE GRADING AND
DRAINAGE PLAN**

DRAWN BY: RC
PROJECT NO.: 812
DRAWING NO.: SP-2.0

CHECKED BY: GMS/MG
DATE: 01/21/25

EXPIRES 7/31/26



CUSTOM BLADE SIGN



NORTH ELEVATION



ASPYRE SIDING BY JAMES HARDIE



WHITE 'PAINTED' BRICK



EAST ELEVATION



WEST ELEVATION